

# MURRAY HILL



709 Severn Avenue | Annapolis, MD 21403



## Georgie Berkinshaw

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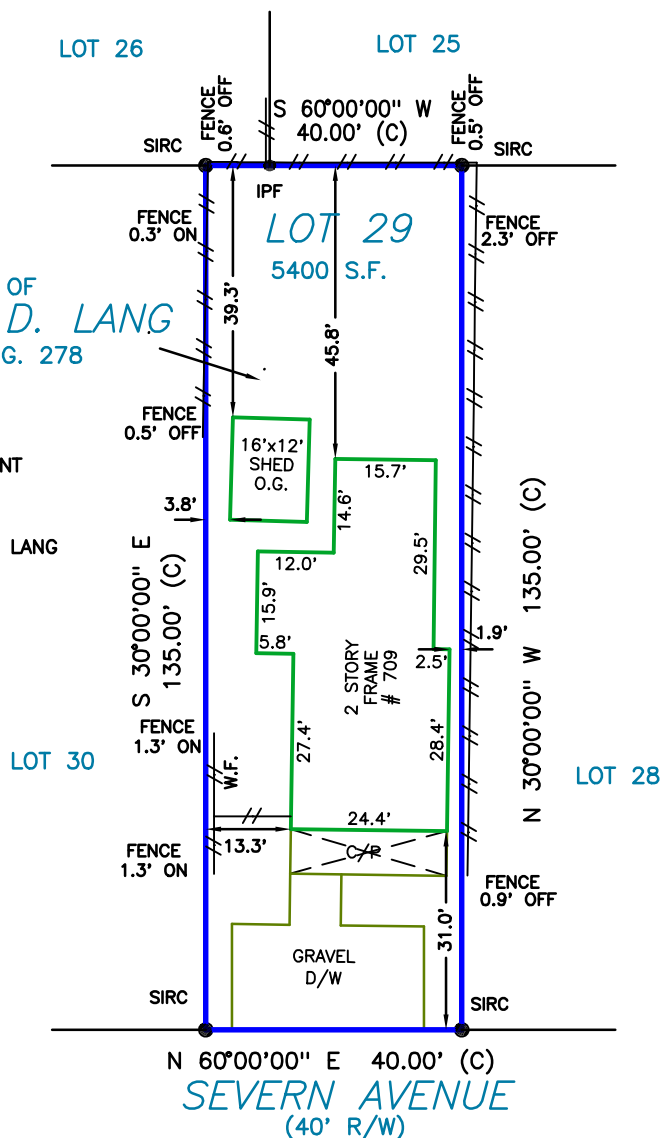
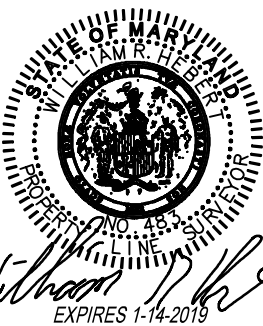
**EXACTA**  
MARYLAND SURVEYORS



**SURVEY NUMBER:** 1804.3747

**REVISION HISTORY:** (REV.0 5/9/2018)

PROPERTY OF  
MARILYN G. D. LANG  
D.B. 16529 P.G. 278



LB# 21535  
www.exactamd.com

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

LEGAL DESCRIPTION:

LOT NUMBERED 29 IN THE SUBDIVISION KNOWN AS "EASTPORT" AS PER PLAT RECORDED IN PLAT BOOK GW 37 AT PLAT NO. 372 AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND.

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN PLAT BOOK GW 37 AT PLAT 372 AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND

GENERAL SURVEYOR NOTES:

1. Unless otherwise noted, no Title Report was furnished to this surveyor. Easements, restrictions, and/or right-of-was may not exist that are shown.
2. Underground facilities not shown, may exist.
3. This survey does not address wetlands, contaminated waste or toxic soil conditions, nor have any reports, studies or information regarding such been provided to this surveyor.
4. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logos or references to third party firms are for informational purposes only.
5. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
6. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
7. If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to Exacta by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location, unless otherwise noted.
8. House measurements are taken by field personnel using cloth tape in a level position from corner to corner. Due to varying construction standards, methods and materials, house measurements may vary when taken by others from any different vertical position. Before using this survey for planning or construction purposes, these measurements should be validated from the vertical level necessary for the purposes of those specific plans and/ or permits.

LEGEND:

LINETYPES: ( UNLESS OTHERWISE NOTED)	
	BOUNDARY LINE
	STRUCTURE
	CENTERLINE
	CHAIN-LINK or WIRE FENCE
	EASEMENT
	EDGE OF WATER
	IRON FENCE
	OVERHEAD LINES
	SURVEY TIE LINE
	WALL OR PARTY WALL
	WOOD FENCE
	VINYL FENCE

SURVEYOR'S LEGEND

SURFACE TYPES: ( UNLESS OTHERWISE NOTED)	
	ASPHALT
	CONCRETE
	WATER
	BRICK or TILE
	COVERED AREA
	WOOD

SYMBOLS: ( UNLESS OTHERWISE NOTED)	
	BENCH MARK
	CENTERLINE
	CENTRAL ANGLE or DELTA
	COMMON OWNERSHIP
	CONTROL POINT
	CONCRETE MONUMENT
	CATCH BASIN
	ELEVATION
	FIRE HYDRANT
	FIND OR SET MONUMENT
	GUYWIRE OR ANCHOR
	MANHOLE
	TREE
	UTILITY OR LIGHT POLE
	WELL

(C)	CALCULATED
(D)	DEED
(F)	FIELD
(M)	MEASURED
(P)	PLAT
(R)	RECORD
(S)	SURVEY
A.S.B.L.	ACCESSORY SETBACK LINE
A/C	AIR CONDITIONING
B.C.	BLOCK CORNER
B.F.P.	BACKFLOW PREVENTOR
B.R.	BEARING REFERENCE
B.R.L.	BUILDING RESTRICTION LINE
B/W	BAY/BOX WINDOW
BLDG.	BUILDING
BLK.	BLOCK
BM	BENCHMARK
BSMT.	BASEMENT
C	CURVE
C.B.	CONCRETE BLOCK
C.L.F.	CHAIN LINK FENCE
C.O.	CLEAN OUT
C.V.G.	CONCRETE VALLEY GUTTER
C/L	CENTER LINE
C/P	COVERED PORCH
C/S	CONCRETE SLAB
CATV	CABLE TV RISER
CH	CHORD BEARING
CHIM.	CHIMNEY
CONC.	CONCRETE
COR.	CORNER
CS/W	CONCRETE SIDEWALK
D.F.	DRAIN FIELD
D.H.	DRILL HOLE
D/W	DRIVEWAY

E.O.W.	EDGE OF WATER
ELEV.	ELEVATION
EM	ELECTRIC METER
ENCL.	ENCLOSURE
ENT.	ENTRANCE
EUB	ELECTRIC UTILITY BOX
F.F.	FINISHED FLOOR
F.O.P.	EDGE OF PAVEMENT
F/DH	FOUND DRILL HOLE
FCM	FND. CONCRETE MONUMENT
FIP	FOUND IRON PIPE
FIPC	FOUND IRON PIPE & CAP
FIR	FOUND IRON ROD
FIRC	FOUND IRON ROD & CAP
FN	FOUND NAIL
FN&D	FOUND NAIL AND DISC
FND.	FOUND
FPM	FOUND PARKER-KALON NAIL
FPM&D	FOUND PK NAIL & DISC
FRRS&D	FOUND RAILROAD SPIKE
GAR.	GARAGE
GM	GAS METER
ID.	IDENTIFICATION
ILL.	ILLEGIBLE
INST.	INSTRUMENT
INT.	INTERSECTION
L	LENGTH
LB#	LICENSE # - BUSINESS
LS#	LICENSE # - SURVEYOR
M.B.	MAP BOOK
M.E.S.	MITERED END SECTION
M.F.	METAL FENCE
MES	MITERED END SECTION
MH	MANHOLE
N.R.	NON RADIAL

N.T.S.	NOT TO SCALE
NAV88	NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD29	NATIONAL GEODETIC VERTICAL DATUM OF 1929
O.C.S.	ON CONCRETE SLAB
O.G.	ON GROUND
O.R.B	OFFICIAL RECORD BOOK
O.R.V.	OFFICIAL RECORD VOLUME
O/A	OVERALL
O/S	OFFSET
OFF	OUTSIDE OF SUBJECT PARCEL
OH.	OVERHANG
OHL	OVERHEAD LINES
ON	INSIDE OF SUBJECT PARCEL
P.B.	PLAT BOOK
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVATURE
P.C.P.	PERMANENT CONTROL POINT
P.I.	POINT OF INTERSECTION
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.P.	PINCHED PIPE
P.R.C.	POINT OF REVERSE CURVATURE
P.R.M.	PERMANENT REFERENCE MONUMENT
P.T.	POINT OF TANGENCY
P/E	POOL EQUIPMENT
PG.	PAGE
PLS	PROFESSIONAL LAND SURVEYOR
PLT	PLANTER
PSM	PROFESSIONAL SURVEYOR AND MAPPER
R	RADIUS or RADIAL

R.P.	RADIUS POINT
R/W	RIGHT OF WAY
RES.	RESIDENCE
RGE.	RANGE
S.B.L.	SET BACK LINE
S.C.L.	SURVEY CLOSURE LINE
S.T.L.	SURVEY TIE LINE
S.W.	SEAWALL
S/GD	SET GLUE DISC
S/W	SIDEWALK
SCR.	SCREEN
SEC.	SECTION
SEP.	SEPTIC TANK
SEW.	SEWER
SIRC	SET IRON ROD & CAP
SN&D	SET NAIL & DISC
SQ.FT.	SQUARE FEET
STY.	STORY
SV	SEWER VALVE
T.O.B.	TOP OF BANK
TBM	TEMPORARY BENCHMARK
TEL.	TELEPHONE FACILITIES
TWP.	TOWNSHIP
TX	TRANSFORMER
TYP.	TYPICAL
U.R.	UTILITY RISER
UG	UNDERGROUND
UR	UTILITY RISER
V.F.	VINYL FENCE
W.F.	WOODEN FENCE
W/C	WITNESS CORNER
W/F	WATER FILTER
WM	WATER METER/VALVE BOX
WV	WATER VALVE

A.E.	ACCESS EASEMENT
A.N.E.	ANCHOR EASEMENT
C.M.E.	CANAL MAINTENANCE ESMT.
C.U.E.	COUNTY UTILITY ESMT.
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE AND UTILITY ESMT.
ESMT.	EASEMENT
IE/E.E.	INGRESS/EGRESS ESMT.
IRR.	IRRIGATION EASEMENT
L.A.E.	LIMITED ACCESS ESMT.
L.B.E.	LANDSCAPE BUFFER ESMT.
L.E.	LANDSCAPE ESMT.
L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT
M.E.	MAINTENANCE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
R.O.E.	ROOF OVERHANG ESMT.
S.W.E.	SIDEWALK EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
T.U.E.	TECHNOLOGICAL UTILITY ESMT.
U.E.	UTILITY EASEMENT

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at

<http://www.fileformat.info/tool/md5sum.htm>

To Electronically Sign any survey PDF:

1. Save the PDF onto your computer.
2. Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
3. Select the Hash Method as SHA.
4. Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.

Select a color printer with legal sized paper.

Under "Print Range," click select the "All" toggle.

Under the "Page Handling" section, select the number of copies that you would like to print.

Under the "Page Scaling" selection drop down menu, select "None."

Uncheck the "Auto Rotate and Center" checkbox.

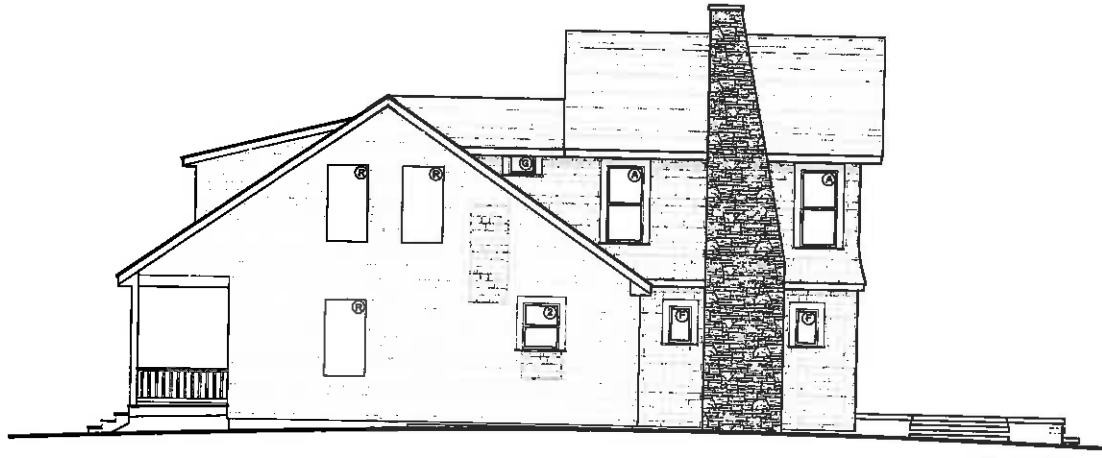
Check the "Choose Paper size by PDF" checkbox. Click OK to print.

EXACTA

OFFERS

25% OFF HOUSE LOCATION DRAWINGS or \$100 OFF BOUNDARIES

OFFER IS ONLY VALID FOR THIS PROPERTY AND BUYER AS LISTED ON THE FIRST PAGE OF THIS SURVEY



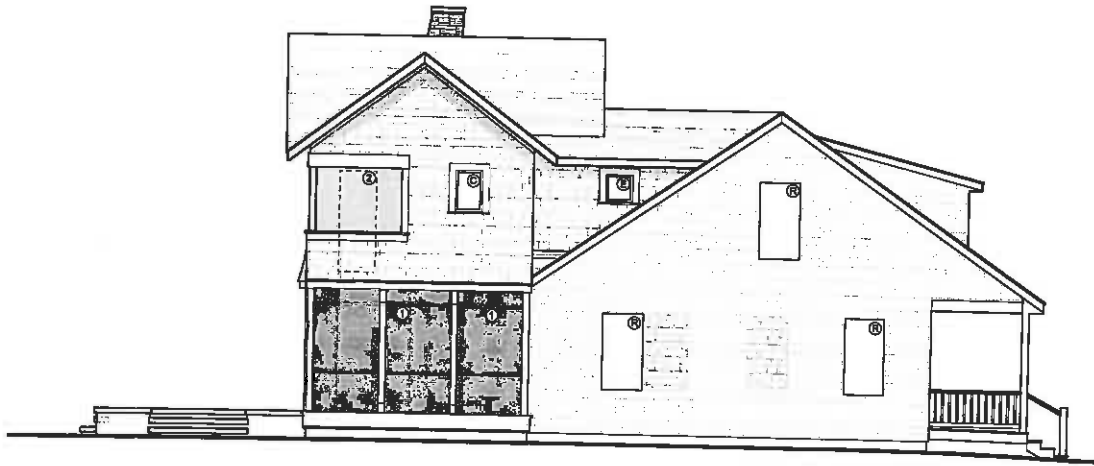
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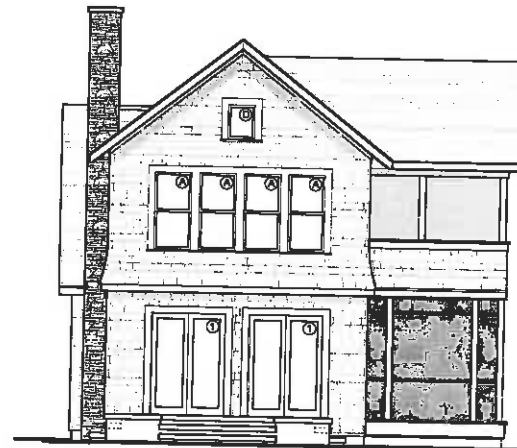
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1/8"=1'-0"



PROPOSED NORTHEAST ELEVATION

1/8"=1'-0"



PROPOSED SOUTHEAST ELEVATION

1/8"=1'-0"

PRELIMINARY

A Renovation to:

The Serkin Residence

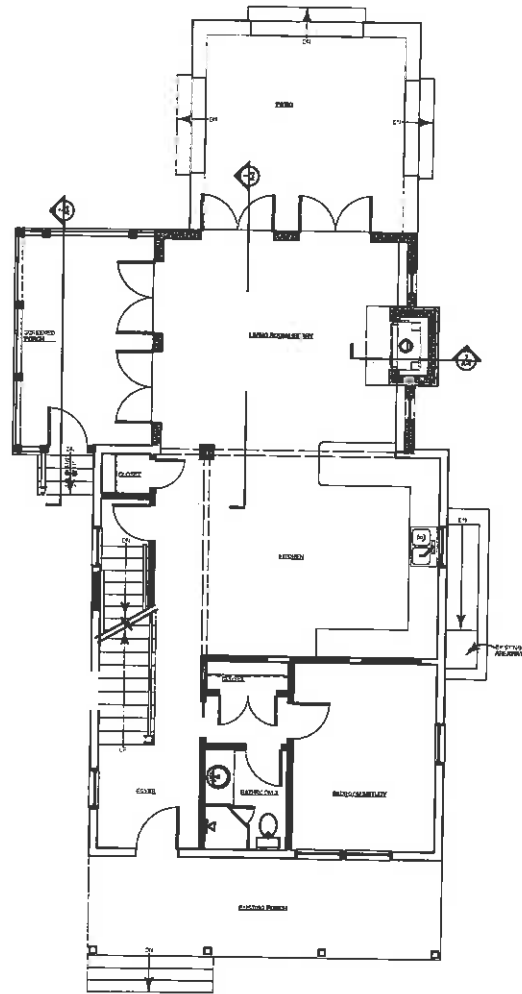
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Annapolis, MD 21403

Frederick Sieracki AIA  
Architect  
119 Monticello Avenue  
Annapolis, Maryland 21401  
410 268 7907

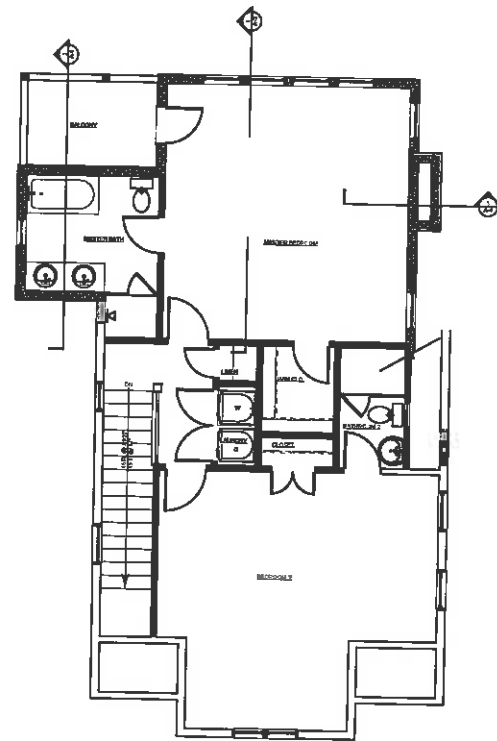


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Revision:

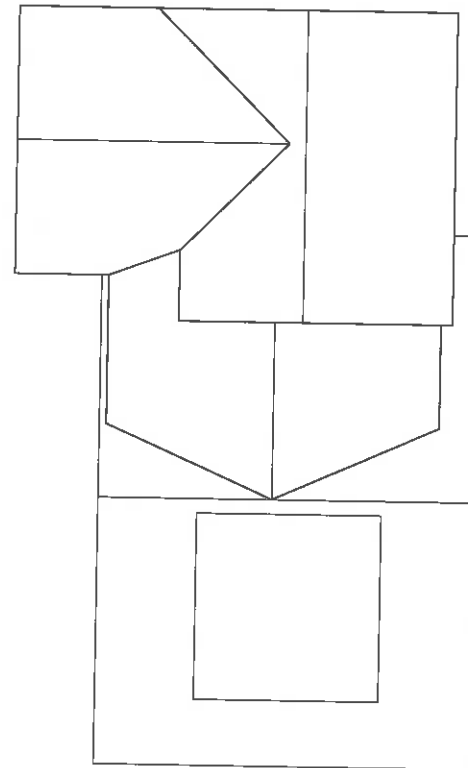
A-2



PROPOSED FIRST FLOOR PLAN 1/8"=1'-0"

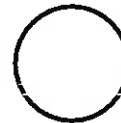


PROPOSED SECOND FLOOR PLAN 1/8"=1'-0"



PROPOSED ROOF PLAN 1/8"=1'-0"

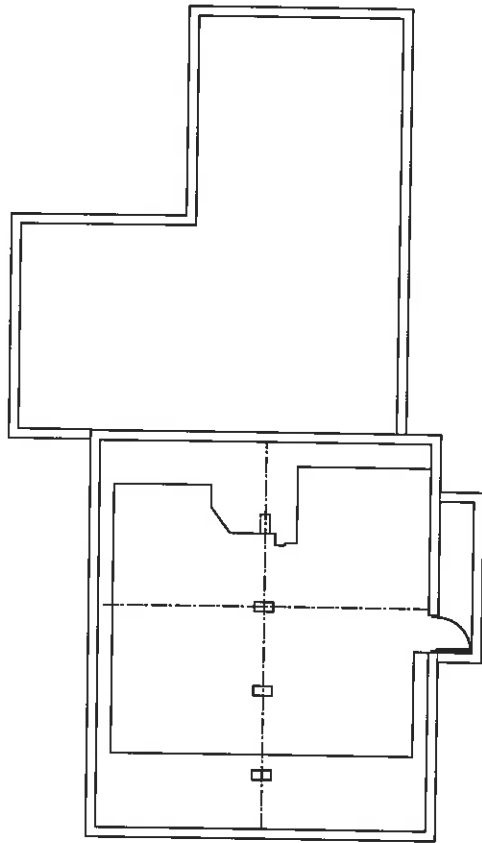
Frederick Sieracki AIA  
Architect  
119 Monticello Avenue  
Annapolis, Maryland 21401  
410 268 7907



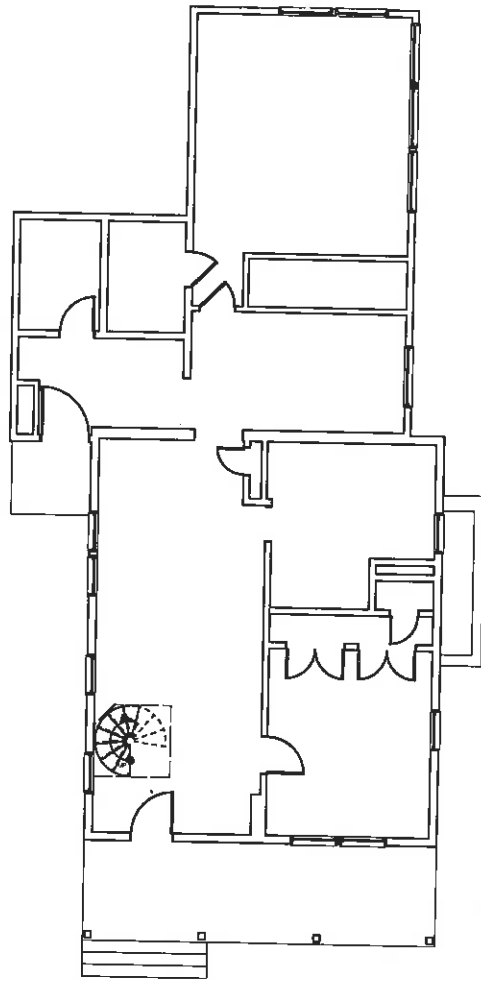
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Date: 06-10-2018  
Revisions:

PRELIMINARY  
A Renovation for:  
**The Serkin Residence**  
709 Severn Avenue  
Annapolis, MD 21403

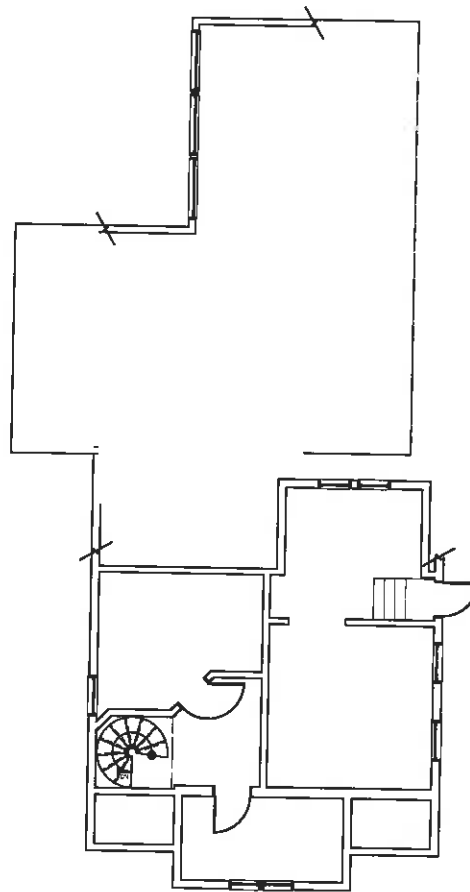
A-1



EXISTING BASEMENT/FOUNDATION PLAN 1/8"=1'-0"



EXISTING FIRST FLOOR PLAN 1/8"=1'-0"



EXISTING SECOND FLOOR PLAN 1/8"=1'-0"

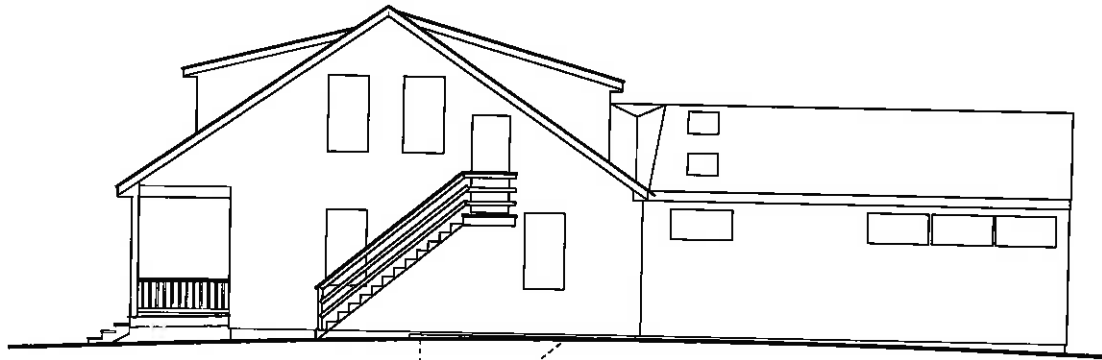
Frederick Sieracki AIA  
Architect  
119 Monticello Avenue  
Annapolis, Maryland 21401  
410 268 7907



Drawing: Existing Plans  
Date: 08-10-2010  
Revisions:

PRELIMINARY  
A Renovation to:  
The Serkin Residence  
709 Severn Avenue  
Annapolis, MD 21403

EC-1



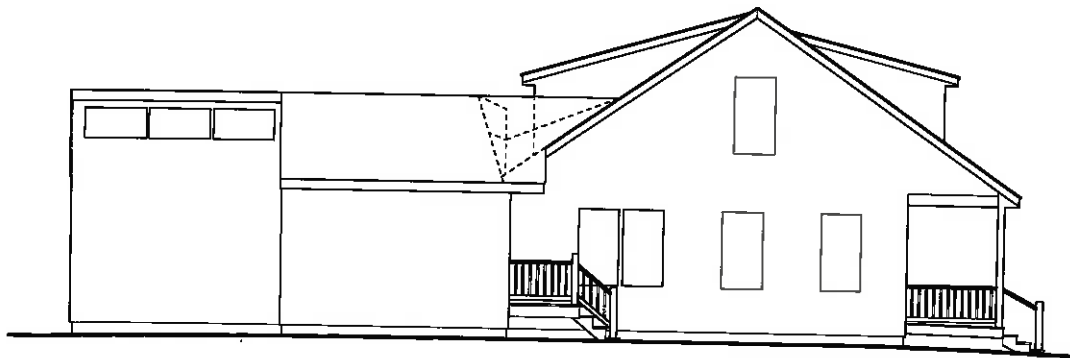
EXISTING SOUTHWEST ELEVATION

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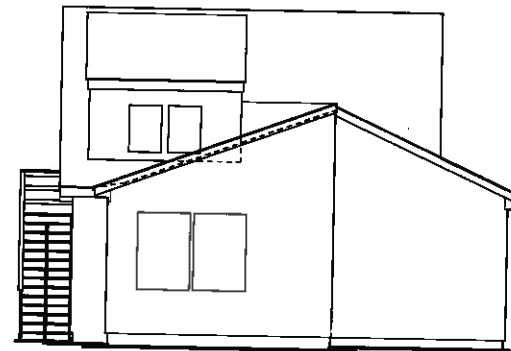
EXISTING NORTHWEST ELEVATION

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EXISTING NORTHEAST ELEVATION

1/8"=1'-0"



EXISTING SOUTHEAST ELEVATION

1/8"=1'-0"

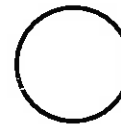
PRELIMINARY

A Renovation to:

**The Serkin Residence**

709 Severn Avenue  
Annapolis, MD 21403

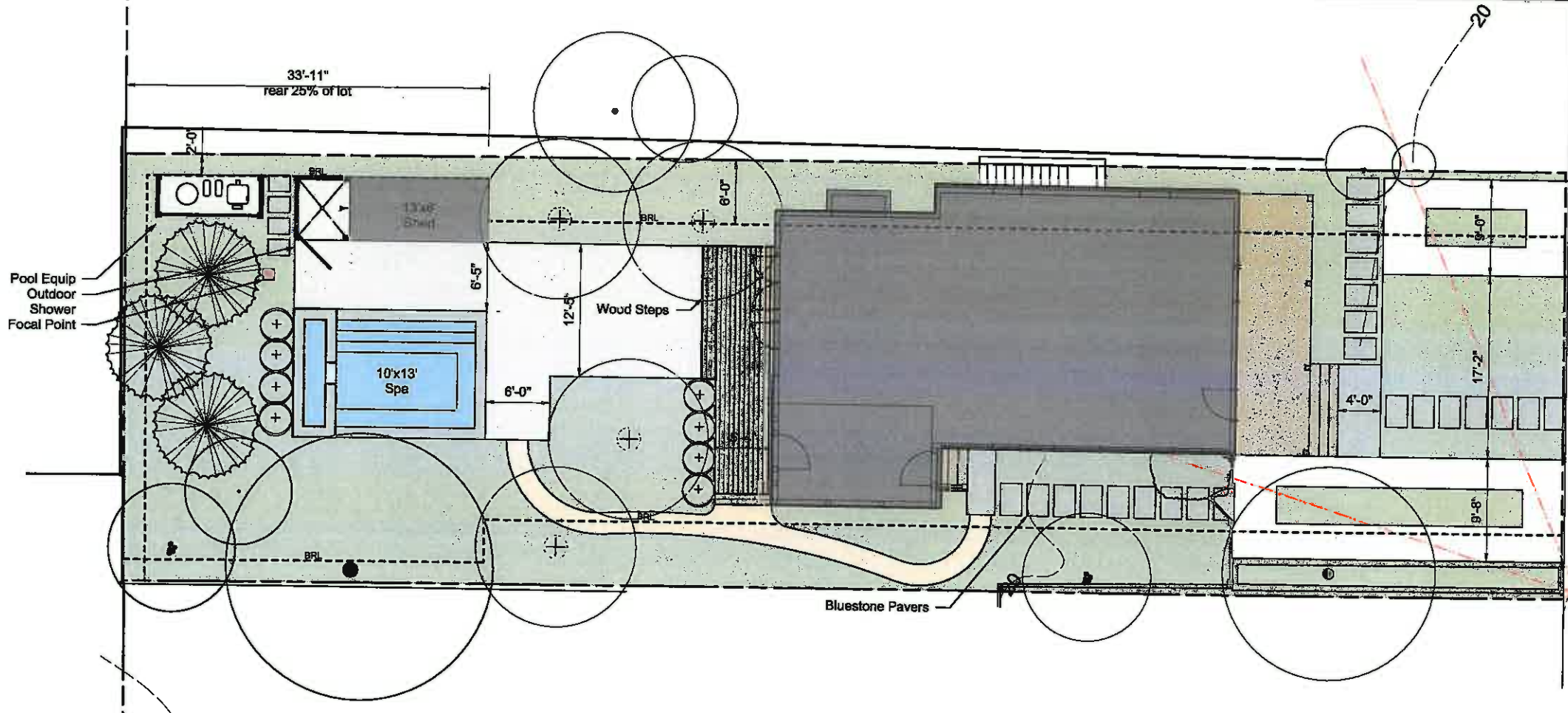
**Frederick Stieracki AIA**  
Architect  
119 Monticello Avenue  
Annapolis, Maryland 21401  
410 268 7907



Drawing: Existing Elevations  
Date: 08-10-2019  
Revisions:

**EC-2**





Pre-development Lot Coverage - Serkin Residence	
Total Land Area (SF)	5,400 SF
Zoning Classifications	R2-NC IDA
Allowed Lot Coverage (%)	2,700 SF
Area Description	
House and Porches, to be partially removed	1,385 SF
Gravel and Gravel Drive, to be removed	742 SF
Steps, to be removed	45 SF
Shed, to be removed	212 SF
Concrete Pads & Arisway	46 SF
Total Lot Coverage	2,430 SF

Post-Development Lot Coverage - Serkin Residence	
Total Land Area (SF)	5,400 SF
Zoning Classifications	R2-NC IDA
Allowed Lot Coverage (%)	2,700 SF
Pre-Development Lot Coverage	2,430 SF
Area Description	
House and Porches	1,108 SF
Steps	33 SF
Shed	78 SF
Concrete Driveway	344 SF
Front Path	119 SF
Side Path	69 SF
Pool	216 SF
Paving at Pool	485 SF
Total Lot Coverage	2,452 SF
Lot Coverage Change	+ 22 SF

SCHEMATIC DESIGN  
NOT FOR CONSTRUCTION

**SOUTH FORK STUDIO**  
LANDSCAPE ARCHITECTURE, INC.  
31810 CLIFF ROAD  
CHESTER TOWN, MD 21620  
410 778 1072 410 778 6648 (f)  
www.southforkstudio.com  
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709 Severn Ave  
Annapolis, MD

Concept Design A



Date : 11-27-18  
Scale : 1"=10'-0"  
Contractions to Verify  
Dimensions on Site  
Do Not Scale the Drawing

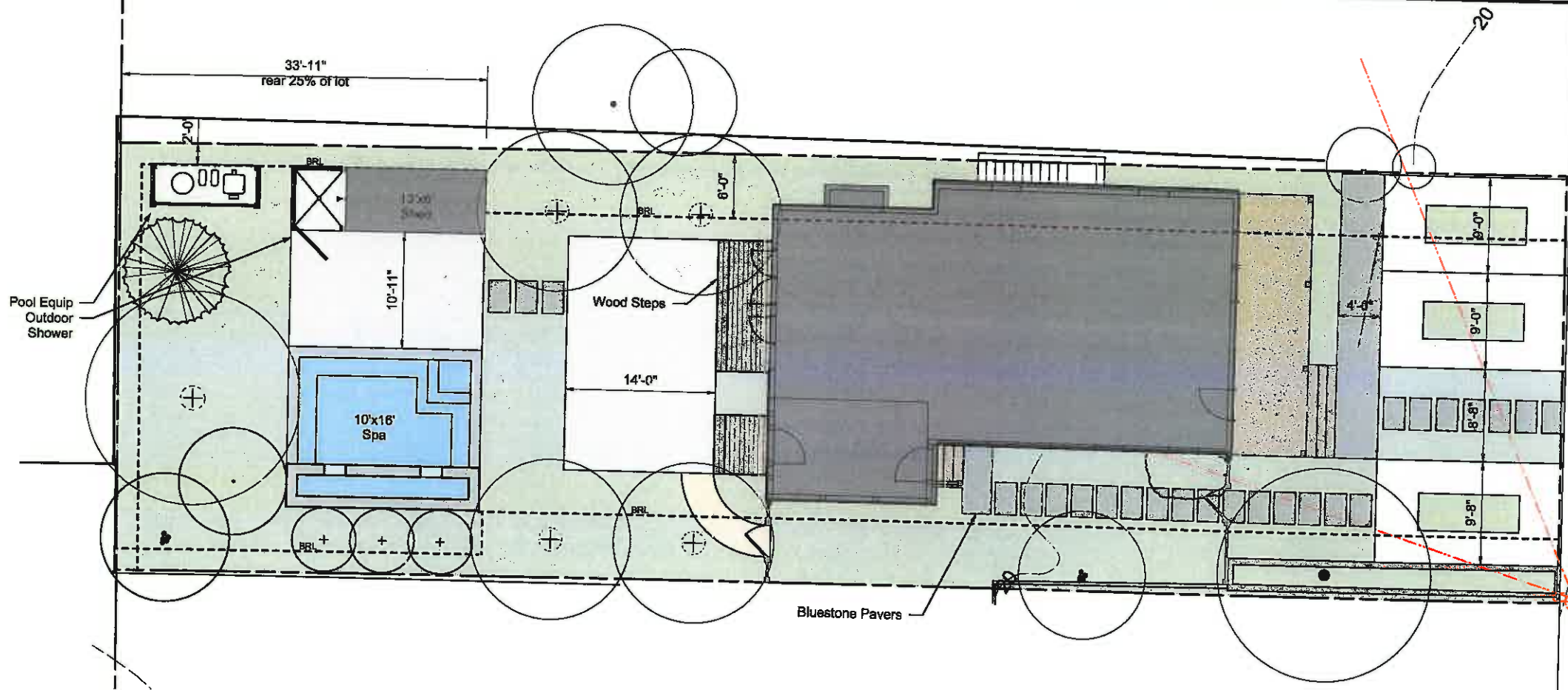
REVISIONS

ISSUED FOR:

Owner Review  
Bid  
Permit  
Construction  
Revision

A





Pre-development Lot Coverage - Serkin Residence	
Total Land Area (SF)	5,400 SF
Zoning Classifications	R2-NC IDA
Allowed Lot Coverage (%)	2,700 SF
Area Description	
House and Porches, to be partially removed	1,385 SF
Gravel and Gravel Drive, to be removed	742 SF
Steps, to be removed	45 SF
Shed, to be removed	212 SF
Concrete Pads & Areaway	46 SF
<b>Total Lot Coverage</b>	<b>2,430 SF</b>

Post-Development Lot Coverage - Serkin Residence	
Total Land Area (SF)	5,400 SF
Zoning Classifications	R2-NC IDA
Allowed Lot Coverage (%)	2,700 SF
Pre-Development Lot Coverage	2,430 SF
Area Description	
House and Porches	1,108 SF
Steps	33 SF
Shed	78 SF
Concrete Driveway	385 SF
Front Path	148 SF
Side Path	107 SF
Pool	270 SF
Paving at Pool	565 SF
<b>Total Lot Coverage</b>	<b>2,694 SF</b>
<b>Lot Coverage Change</b>	<b>+ 264 SF</b>

**SCHEMATIC DESIGN  
NOT FOR CONSTRUCTION**

**SOUTH FORK STUDIO**  
LANDSCAPE ARCHITECTURE  
10810 CLIFT ROAD  
CHESTERTOWN, MD 21620  
410.778.1098 410.778.6640  
www.southforkstudio.com

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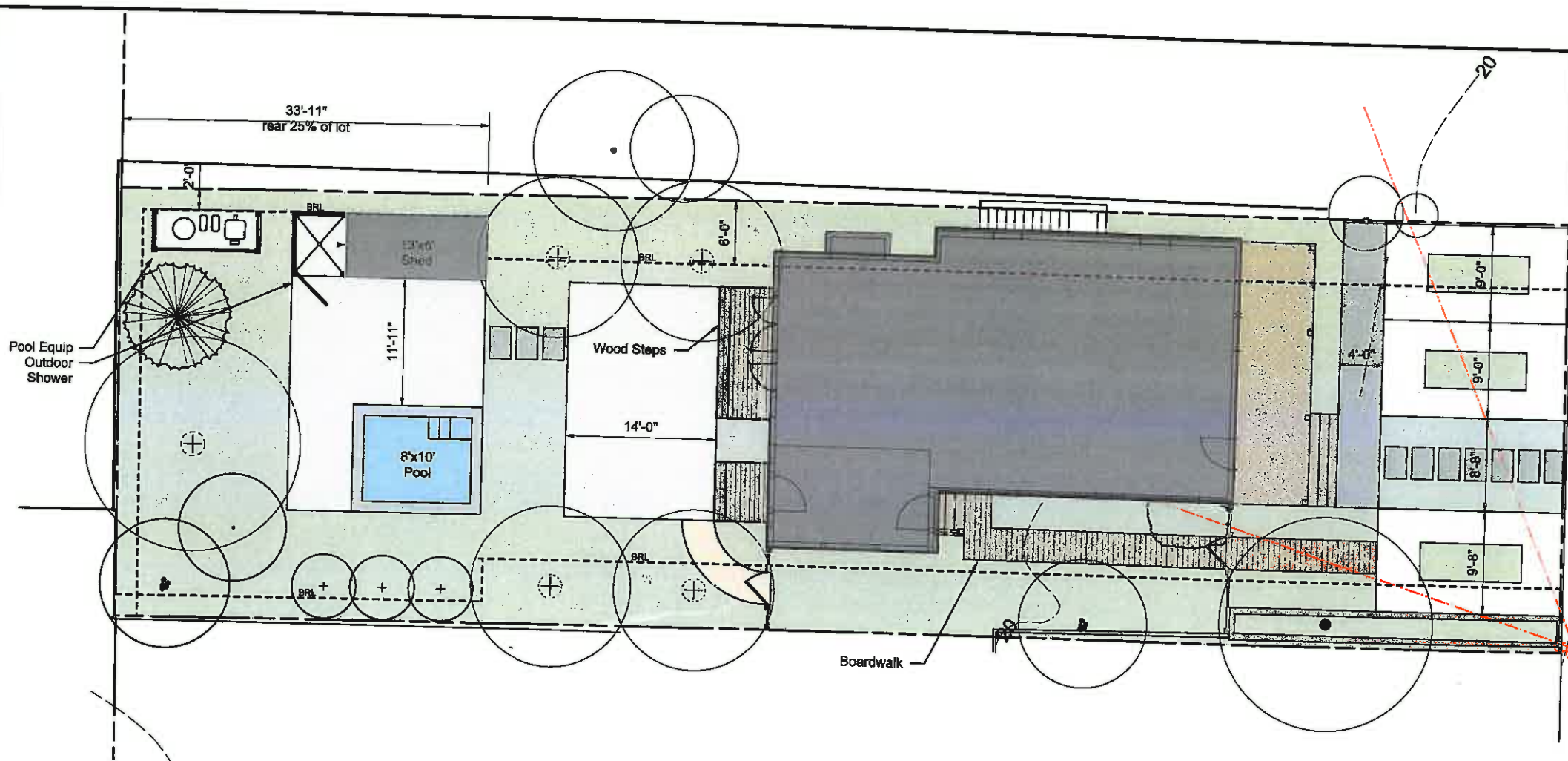
**Concept Design B1**

Date: 11-27-18  
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Contractions to Verify  
Dimensions on Site  
Do Not Scale the Drawing

ISSUED FOR:

Owner Review	Bid	Permit	Construction	Revision
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**B1**



**SOUTH FORK STUDIO**  
 LANDSCAPE ARCHITECTURE  
 10810 CLIFF ROAD  
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709 Severn Ave  
 Annapolis, MD  
 Concept Design B2



Date : 11-27-18  
 Scale : 1"=10'-0"  
 Contractors to Verify  
 Dimensions in Site  
 Do Not Scale the Drawing

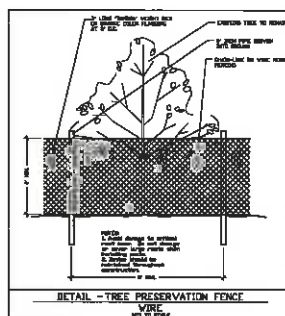
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Bld	<input type="checkbox"/>		
Permit	<input type="checkbox"/>		
Construction	<input type="checkbox"/>		
Revision	<input type="checkbox"/>		

**B2**

Pre-development Lot Coverage - Serkin Residence	
Total Land Area (SF)	5,400 SF
Zoning Classifications	R2-NC IDA
Allowed Lot Coverage (%)	2,700 SF
Area Description	
House and Porches, to be partially removed	1,385 SF
Gravel and Gravel Drive, to be removed	742 SF
Steps, to be removed	45 SF
Shed, to be removed	212 SF
Concrete Pads & Arisway	48 SF
Total Lot Coverage	2,430 SF

Post-Development Lot Coverage - Serkin Residence	
Total Land Area (SF)	5,400 SF
Zoning Classifications	R2-NC IDA
Allowed Lot Coverage (%)	2,700 SF
Pre-Development Lot Coverage	2,430 SF
Area Description	
House and Porches	1,108 SF
Steps	33 SF
Shed	78 SF
Concrete Driveway	385 SF
Front Path	148 SF
Pool	120 SF
Paving at Pool	591 SF
Total Lot Coverage	2,463 SF
Lot Coverage Change	+ 33 SF

SCHEMATIC DESIGN  
 NOT FOR CONSTRUCTION



TREE REMOVAL AND PRESERVATION NOTES

## GENERAL NOTES:

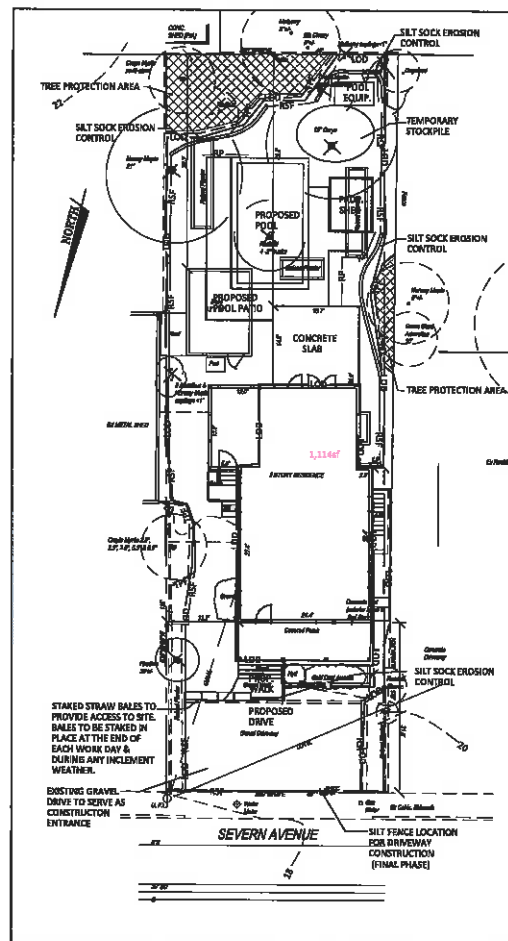
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### SEQUENCE OF TREE PRESERVATION AND PROTECTION BODY PRUNING

1. Root pruns to a depth of 24" along edge of tree preservation zone. 2" inside of this where proposed grading will create a lower finished grade than existing grade. This will ensure that the roots are not exposed to wind, wet, burial and heavy metal until grading operations have covered these root ends.
3. Apply "treebark" biodegradable mulch manufactured by Rogaine, Inc. to the tree line per manufacturers recommendations over entire tree preservation area.
4. Install a 1" depth of "leaf-gro" or equivalent aged humus mulch over entire tree preservation area.
5. Install a 3"-4" depth of organic mulch over entire tree preservation area. If on-site wood chips or non-aged mulch is used, add 100 lbs. of urea at the rate of 100lb nitrogen per 1000' over mulch.
6. Deeply water the entire tree preservation area for a minimum of four hours or until the soil reaches field capacity.

### THE PROTECTION

7. Install designated type of tree protection fence prior to site demolition and grading operations. Fence shall remain in place throughout project until soils of disturbed area are stabilized except for final landscape operations.
8. Additional soil fence shall be installed on-site if necessary to control the flow and deposition of silt over tree protection area.
9. Watering shall continue throughout construction operations during drought periods to provide the equivalent of 1" of water per week for the entire growing season and 1" depth per month during the dormant season if soil is not frozen.
10. At the time of the completion of landscape operations, tree protection fence may be removed. Much may also be removed as needed for the installation of lawn surfaces and other plantings. This work shall be done by the same mechanical equipment may be used in tree protection area.



TREE PRESERVATION PLAN  
SCALE: 1" = 10'

### TREE REMOVAL NOTES

A total of 4 trees, 5 saplings & 1 shrub are to be removed from this site. The trees include; 1 Norway Maple 23" dbh, 1 *Carya* spp 15" dbh, 1 multi-stemmed Redbud with 10" total dbh & 1 multi-stemmed Chape Myrtle with 10" total dbh. The 5 saplings include Mulberry & *Alnus* spp with all less than 1" dbh. The only shrub to be removed is a multi-stemmed Photinia with a total area of 80 sf.

**TOTAL MITIGATION PLANTING REQUIRED = 9 Trees & 4 Shrubs**

**Tree Removal Mitigation:** 9 Trees & 4 Shrubs  
See sheet LS "Landscape Plan" for mitigation  
information.

### TREE REPLACEMENT TABLE

CRITICAL AREA ZONE 10A OUTSIDE OF BUFFER

SIZE CLASS	QUANTITY REMOVED	RATIO	TREES/SHRUBS REQUIRED
Scrub Shrub	RO	1 shrub per 20sf	4 shrubs
1" to <4" dbh	1		0
4" to <12" dbh	2	2 : 1	0
12" to <18" dbh	3	3 : 1	3
18" to 24" dbh	1	4 : 1	4
24" to >4" dbh	0	5 : 1	0
<b>TOTAL REQUIRED: 0 Trees &amp; 4 SHRUBS</b>			
<b>TOTAL PROVIDED: 9 Trees &amp; 4 SHRUBS</b>			

\*Small multi-stemmed trees with total dbh falling within designated category.

[illegible]

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DRAWN BY: lmm DATE: JULY, 2018

CHECKED BY: <u>dlm</u>	SCALE: <u>SHOWN</u>
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OWNER

Stuart Serkin  
Johanna Trieloff  
1425 Rhode Island Avenue, Apt 60  
Washington DC 20005  
(000) 000-0000

## TREE PRESERVATION PLAN

## SERKIN RESIDENCE

709 Severn Avenue, Annapolis, MD 21403

Map 052D      Grid 000B      Parcel 0189      Lot 29  
Sixth District      Anne Arundel County      Maryland

SHEET NO.

L2

OF 3 SHEETS





## GÉNÉRAL

1. All p/a

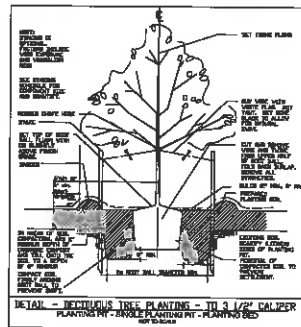
- DEALS: Planting shall take place between March 15 – June 1 or September 15 – November 15.
- D. All plants shall conform to current standards as defined by the American Nurseryman's Association and each shall be clearly tagged with its botanical name. No substitutions shall be made without the written approval of the City. Plants that are dead, damaged or pruned shall be removed from the site. Plants that are not from the central leader will be accepted.
- E. All plants shall be certified by the Contractor to be free of pests, fungi and diseases.
- F. If any conflicts are found between the information on the Landscape Plan and that shown on the plant lists, notify the landscape architect prior to submission of bid.
- G. The contractor shall be notified at least five work days in advance for inspection and approval of all plants prior to any installation.

6. Planting beds and pits shall be hand-dug free of old rocks over 2" and any debris found during the filling and preparation process. All plants spaced at 6" or greater (o.c.s.) or less shall be planted in hand-dug planting beds.
7. All plants shall be installed at a minimum depth of 8". If any unsuitable conditions, such as extreme compaction or high water table are encountered, the Landscape Architect shall be notified immediately.
8. All plants spaced 2" depth "Leaf-Gro" or equivalent and 2" deep heavy topsoil shall be spread evenly over all planting beds and incorporated by filling. In compacted site conditions, a minimum of 2" depth of sand shall also be incorporated.
9. A suitable slow-release fertilizer shall be used in accordance with the manufacturer's instructions. The fertilizer shall be applied to soil surface and evenly broadcast. Submit fertilizer information to the Landscape Architect for approval prior to commencing planting operations. Composted cow manure may be substituted for slow-release fertilizer, but must be applied in accordance with the manufacturer's instructions. A fertilizer such as "Roots" shall be used for all tree plantings, per manufacturer's recommendations.
10. Soil mix for planting pits shall consist of 3 parts by volume of existing on-site soil, one part by volume of leaf-gro or equivalent and one-half (1/2) cubic foot of slow-release fertilizer per manufacturer's recommendations.
11. All plants shall be prepared prior to use by backfill planting mix.
12. All plants shall be installed in the planting pit with a 1" clear sand fill.
13. All plants shall be installed with underground obstructions or other site conditions as encountered that conflict with the planar planting, notify the Landscape Architect immediately.
14. All planting beds shall be neatly hand edged unless otherwise specified.
15. All planting beds and pits shall be provided with a 2" minimum, 3" maximum depth of topsoil. The topsoil shall be spread evenly over the planting beds and pits. In addition, planting pits shall have a 6" high rim or "aucaud" provided. No mulch shall be placed on the crown of a plant or on the root flare or trunk of a tree or shrub.
16. All plants shall be installed in accordance with the manufacturer's instructions. All plants shall be installed with planting detail entitled Landscape Detail Planting Tree.

## WATERING

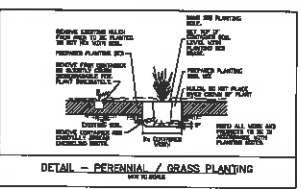
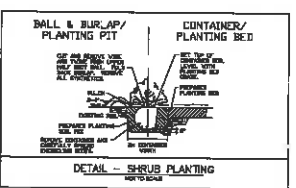
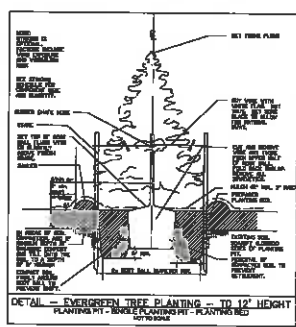
19. A water source for planting and maintenance operations will be provided by the Owner / Client. If a source is not available on-site, Contractor will include a water supply cost in his / her bid. "Gator-bags" or equivalent slow drip watering devices are recommended for trees in times of low rainfall. Also, install soaker hose with connections left uncovered for ease of watering plant beds. Loop hoses around any trees that do not have watering bags installed. A minimum of 1" depth of water shall be applied any week where that amount of rainfall has not occurred after a 2 month period of installation. During the first two months all plants shall be watered daily for two weeks, 3 times a week for 4 weeks and 2 times a week for 2 weeks.

- CONTRACTOR'S WARRANTY REQUIREMENTS**
19. Contractor shall warrant that all work performed by the Contractor's operations shall be in accordance with the approved plans and specifications. The Contractor shall be responsible for obtaining all necessary permits and approvals for the project and shall be accepted for final approval and payment. The Contractor shall be responsible for obtaining all necessary permits and approvals for the project and shall be accepted for final approval and payment.
20. The Owner's property and any affected building property shall be left clean and free of any debris or excess materials resulting from any phase of the landscape operations.
21. The Contractor shall be responsible for repairing or replacing as necessary, any property of the Owner's Client or other affected building property that is damaged by the Contractor's operations, equipment or crew. Any such repair or replacement shall take place in a timely fashion and in a manner that meets with the approval of the Owner / Client.
22. Contractor shall notify the Landscape Architect or Owner / Client at the completion of the landscape operations that the project complies with the approved plans and specifications with specifications and be in healthy, vigorous condition for continued maintenance.
23. All plant material shall be warranted for one year starting from the date of installation acceptance. This shall include one replacement to match the original. If the Contractor is of the opinion that the plant material is not healthy, vigorous, or in good condition, the Contractor shall be notified prior to bud. A tree shall be replaced if the main leader has died. If the canopy is 25% or greater dead. A shrub shall be replaced if the crown is 25% or greater dead.
24. Contractor is responsible for all maintenance for a three month period following project acceptance. Maintenance shall include but not be limited to watering, herbicide, pesticide, fungicide or fertilizer applications, pruning or respraying mulch to maintain depth, pruning, adjusting stolons, weeding and replacing dead edges. This shall be included as a separate bid item for the Contractor's maintenance and the Contractor shall be responsible for checking the project and making maintenance suggestions to the Owner / Client.

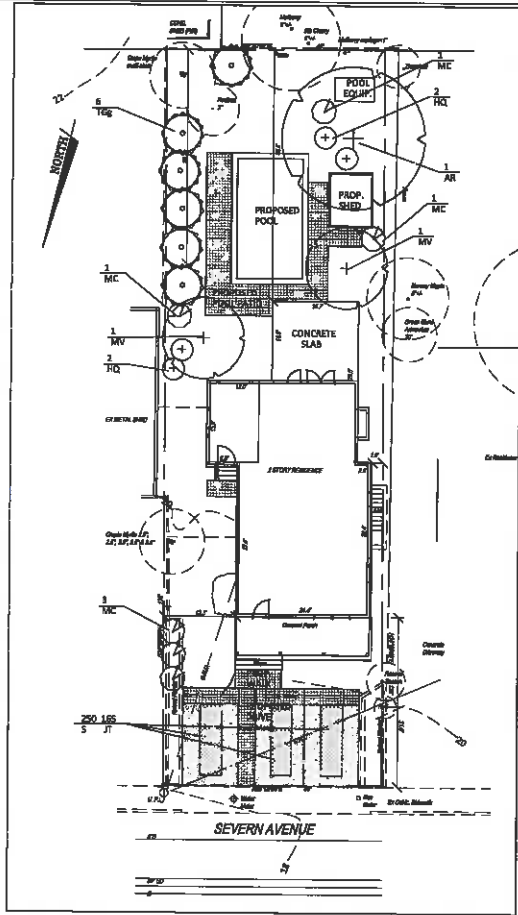


Tree Size	Stake Qty	Stake Size	Wire Size
6" - 12" on = 2" caliper	2	2" x 2" x 6' min.	14 gauge
12" - 18" on 8-8 1/2" caliper	2	2" x 2" x 6' min.	14 gauge
18" - 36" on 8 1/2" - 4" caliper	3 deadmen	2 1/2" min.	12 gauge
36" - 60" on 4" - 6" caliper	3 deadmen	30" min.	14 gauge
over 60" on over 6" caliper	3 deadmen		1/4" with turnbuckles

**TREE STAKING SCHEDULE**



QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPC'S
1	AR	<i>Acer rubrum</i>	Red Maple	2' ca	B & B	As shown
1	HCL	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	26-30"	Cont.	As shown
1	NY	<i>Nyssa sylvatica</i>	Smooth Bayberry	27" cal	Cont.	As shown
6	NYC	<i>Nyssa oerfelia</i>	Sourthorn	24-30" ca	Cont.	As shown
1	MC	<i>Thuja 'Green Giant'</i>	Green Giant Arborvitae	2" cal	Cont.	5' o.c.
250	S	<i>Sedum spangulare</i>	Watch chain	4"	Cont.	8" o.c.
	(m)	<i>Sedum spectabile</i>	Watch chain	4"	Cont.	8" o.c.
		<i>Sedum repens</i>	Blue Spruce	4"	Cont.	8" o.c.
		<i>Spruce</i>				
165	IT	<i>Juniperus horizontalis</i>	Path Rush	QT	Cont.	3" o.c.



**TOTAL PLANTING REQUIRED = 9 Trees & 10 shrubs**  
 6 shrubs for Stormwater Management & 9 trees  
 4 shrubs for Tree & Shrub Removal Mitigation  
 See sheet L1 "Tree Preservation Plan" for  
 tree & shrub removal information.

[illegible]

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**LANDSCAPE PLAN**  
**SERKIN RESIDENCE**  
709 Severn Avenue, Annapolis, MD 21403  
Map 052D    Grid 0008    Parcel 0189    Lot 28  
Sixth District    Anne Arundel County    Maryland

SHEET NO.  
L3  
OF 3 SHEETS