

WIMBLEDON FARMS

3334 Harness Creek Road
Annapolis, MD 21403



Located on one of the best streets in Annapolis, this charming residence is sited on 1.6 acres overlooking the South River & an expansive tidal pond. Waterside pool, fabulous screened porch & deck. Gourmet kitchen with granite island & stainless steel appliances. Open floor plan, Master suite with updated bath, walk in closet. 2 home offices & 3 add'l BRs. Protected deep water slip in community marina just steps away.

Georgie Berkinshaw
Certified Residential Specialist and GRI

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WIMBLEDON FARMS
3334 HARNESS CREEK ROAD
ANNAPOLIS, MD 21403

WATERFRONT & EXTERIOR

- Located in the exclusive neighborhood of Wimbledon Farms on a peninsula between the South River and Harness Creek with expansive waterviews
- Community marina features deep water slip that is available for subject homeowner with water, electricity and lights that will accommodate 45 foot boat.
- Inground pool with flagstone decking, recently (2015) retiled and resurfaced with new coping and white plaster bottom. Features Cartridge filter system. Depth ranges from 3 feet to 9 feet with steps and ladder.
- Oversized two car attached garage with automatic openers, work bench, lockers and loft storage
- Circular stone driveway
- Waterside deck with Trek decking wraps entire back of house
- Screened-in porch with beadboard ceiling and recessed lighting
- Lower patio with Jacuzzi hot tub
- Columned Ipe front portico with updated lights and windows on either side of front door and beadboard with recessed lighting above
- Split rail fencing around full backyard
- Horeshoe pit

UPDATES & FINISHES

- Palladian windows
- Recessed lighting with dimmer switches
- Columns and extensive trim throughout
- Open floor plan for entertaining
- All bathroom hardware recently replaced
- Master bath shower door installed in 2015

MAIN LEVEL

- Refinished hardwood floors throughout
- Gracious foyer with columned entryway opens to Great Room with entry to garage and coat closet
- Great Room/Living Room with soaring cathedral ceiling overlooks the water with a wall of windows and sliding door to waterside deck. Gas fireplace with stone hearth and mantel is flanked by built-in cabinets with a bar on one side and icemaker below.

All information is deemed reliable, but is not guaranteed.

- Separate Dining Room with iron lantern-style chandelier and waterviews with a sliding door to the deck
- Office nook located directly off the Kitchen through double doors features vaulted ceiling and built-in desk surrounded by windows with views of the water and pool
- Half Bath with marble vanity and sconce lighting
- Family Room features built-in entertainment system, bookshelves and plantation shutters

KITCHEN

- Island/Breakfast Bar with rustic chandelier above
- Granite countertops and beadboard backsplash
- Pantry
- Wine storage rack
- Built-in plate shelving
- Appliances installed in 2015 include stainless steel KitchenAid dishwasher, stainless steel KitchenAid gas stove with grill and electric down draft, electric oven and wood panel front KitchenAid refrigerator
- Dacor built-in microwave with warming drawer
- Pull-out cabinetry drawers
- Disposal

UPPER LEVEL

- Extra wide staircase with oval window in stairwell and wrought iron chandelier in landing
- Hardwood floors throughout
- First Bedroom features vaulted ceiling with fan, closet with built-in storage, waterviews and sliding door to private waterside balcony. Full Bath en suite features quartz vanity, chandelier with dimmer switch, vaulted ceiling and large shower and Jacuzzi tub with updated fixtures
- Second Bedroom features ceiling fan and closet with built-in storage with full Bath en suite including linen closet, quartz vanity and shower/tub with tile surround.
- Third Bedroom features waterviews, ceiling fan and closet with built-ins
- Separate Laundry Room with built-in cabinetry and GE washer and dryer

MASTER BEDROOM SUITE

- Located at end of private hallway
- Columned entry opens to vaulted ceiling with ceiling fan above and wall of windows with door to large private waterside balcony.
- Built-in entertainment system and desk
- Separate office/nursery en suite
- Two walk-in closets in hallway with built-in storage

All information is deemed reliable, but is not guaranteed.

- Full Bath en suite through pocket door with dual marble vanities, marble radiant heated floor, sconce lighting, standing glass shower with rain head, side sprays and tile surround and private commode

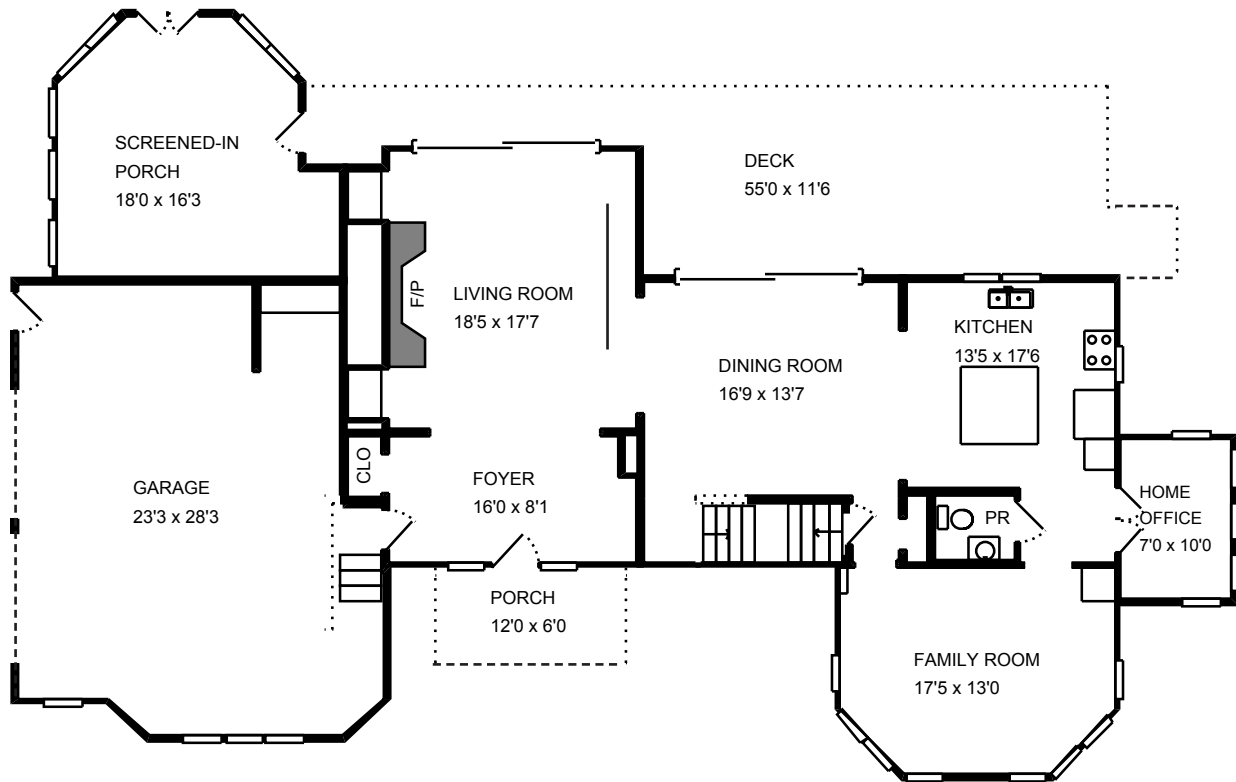
LOWER LEVEL

- Fully finished with built-in shelving in stairwell
- Recently repainted
- Recreation Room with wall-to-wall carpet and walkout level to lower waterside patio through sliding glass door
- Pool table conveys
- Full Bath with standing glass shower, pedestal sink and sconce lighting
- Utility room with extra refrigerator and cedar closet/wine cellar

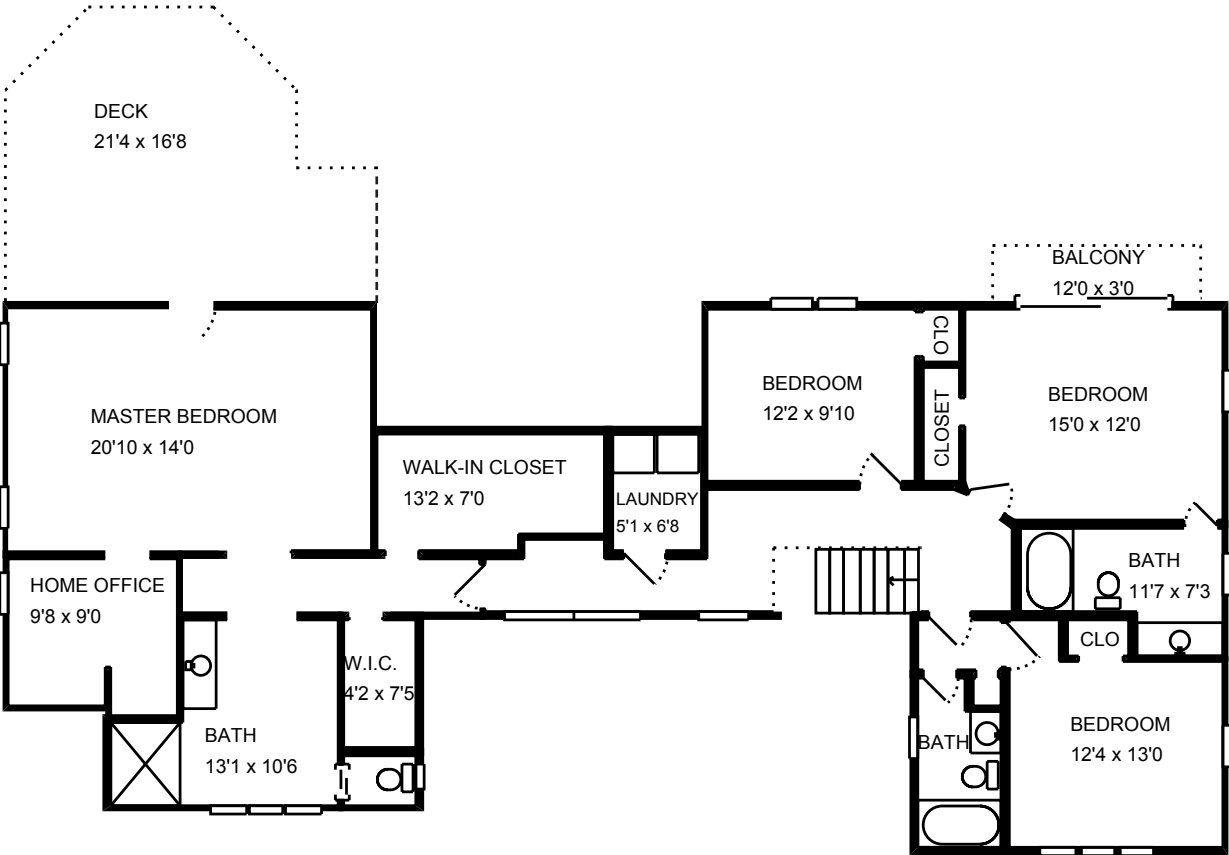
UTILITIES & SYSTEMS

- Magnum Alert alarm system
- Buried invisible dog fence
- AprilAir air cleaner
- Well water with conditioner and supplemental salt system rented for \$46.71/month from Hague
- Two-zone oil heat with above ground 250 gallon tank
- Floored attic space with pull-down stairs
- Septic pumped in 2013
- Underground 100 gallon propane tank for fireplace
- Underground 500 gallon propane tank for generator and stove
- 16 kw generator runs HVAC, refrigerator and some lights
- Two-zone electric central air conditioning

Wimbledon Farms has a Homeowner's Association fee of \$300 paid annually

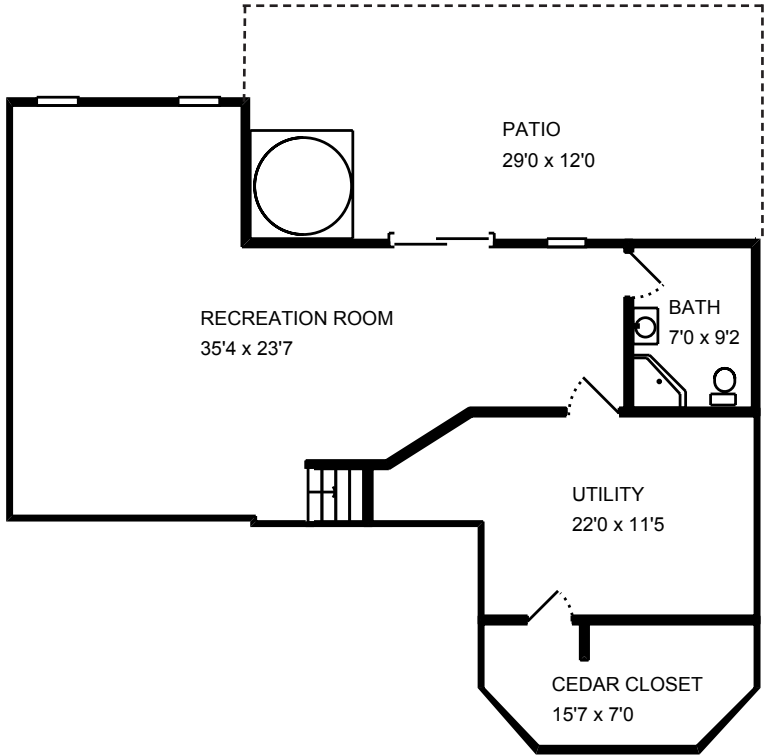


MAIN LEVEL



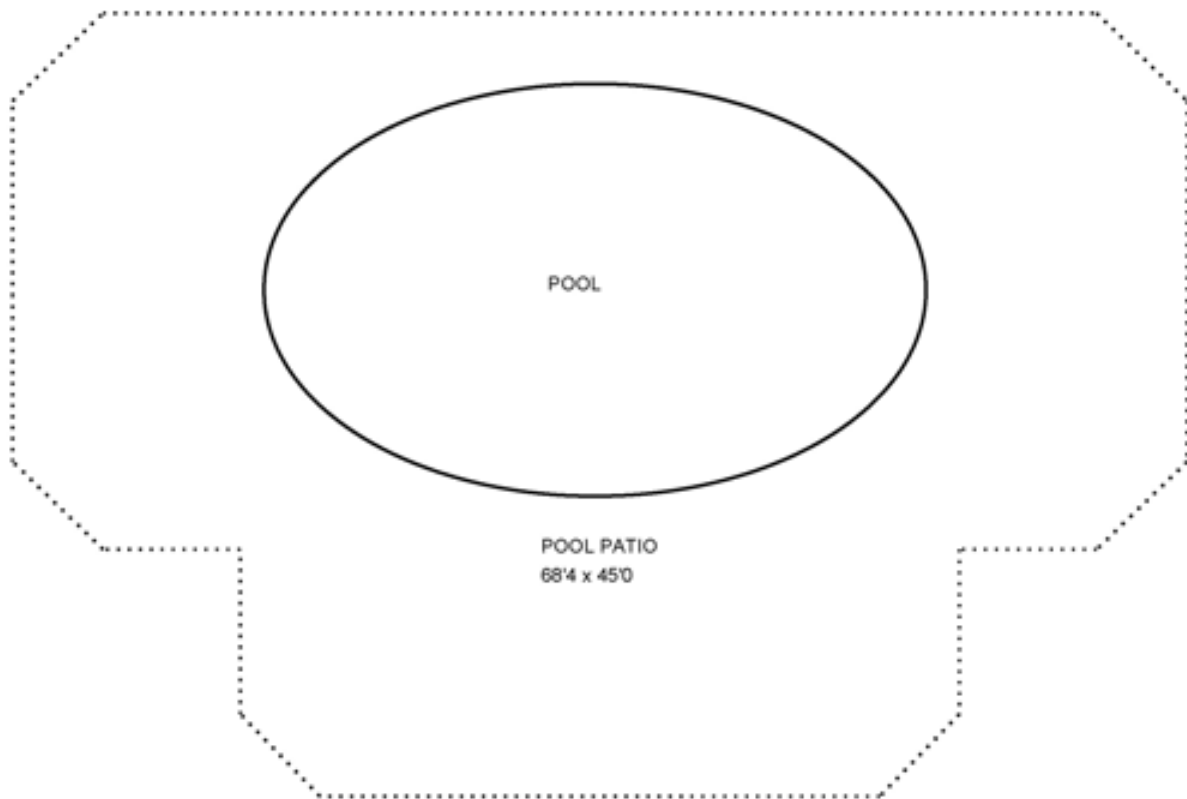
UPPER LEVEL

All information is deemed reliable, but is not guaranteed.



LOWER LEVEL

All information is deemed reliable, but is not guaranteed.



IN-GROUND POOL

All information is deemed reliable, but is not guaranteed.

SITE DATA & CRITICAL AREA INFORMATION

LOT AREA: 70,047 S.F.
 ALLOWABLE LOT COVERAGE (15%): 10,507 S.F.
 TOTAL LOT COVERAGE (AS SHOWN) 10,770 S.F. ±

LOT ZONING: RLD/OS (CHANGED FROM R1 WITH COMPREHENSIVE REZONING)
 CRITICAL AREA DESIGNATION: RCA
 EX. SOIL: ANNAPOLIS LOAMY SAND (Adb&C) K=0.17 (NOT HIGHLY ERODABLE)
 AS DETERMINED BY USDA, SOIL CLASSIFICATION (AOC) AT 100'-FOOT BUFFER HAS A "K" FACTOR OF 0.17 AND CLASSIFIED AS ANNAPOLIS LOAMY SAND (Adb&C) K=0.17. THEREFORE, THIS DETERMINATION IS SUBJECT TO ANNE ARUNDEL COUNTY PLANNING & ZONING REVIEW AND APPROVAL.
 FEMA FLOOD: AE ELEVATION 6, MAP #24003C022F 2/18/15

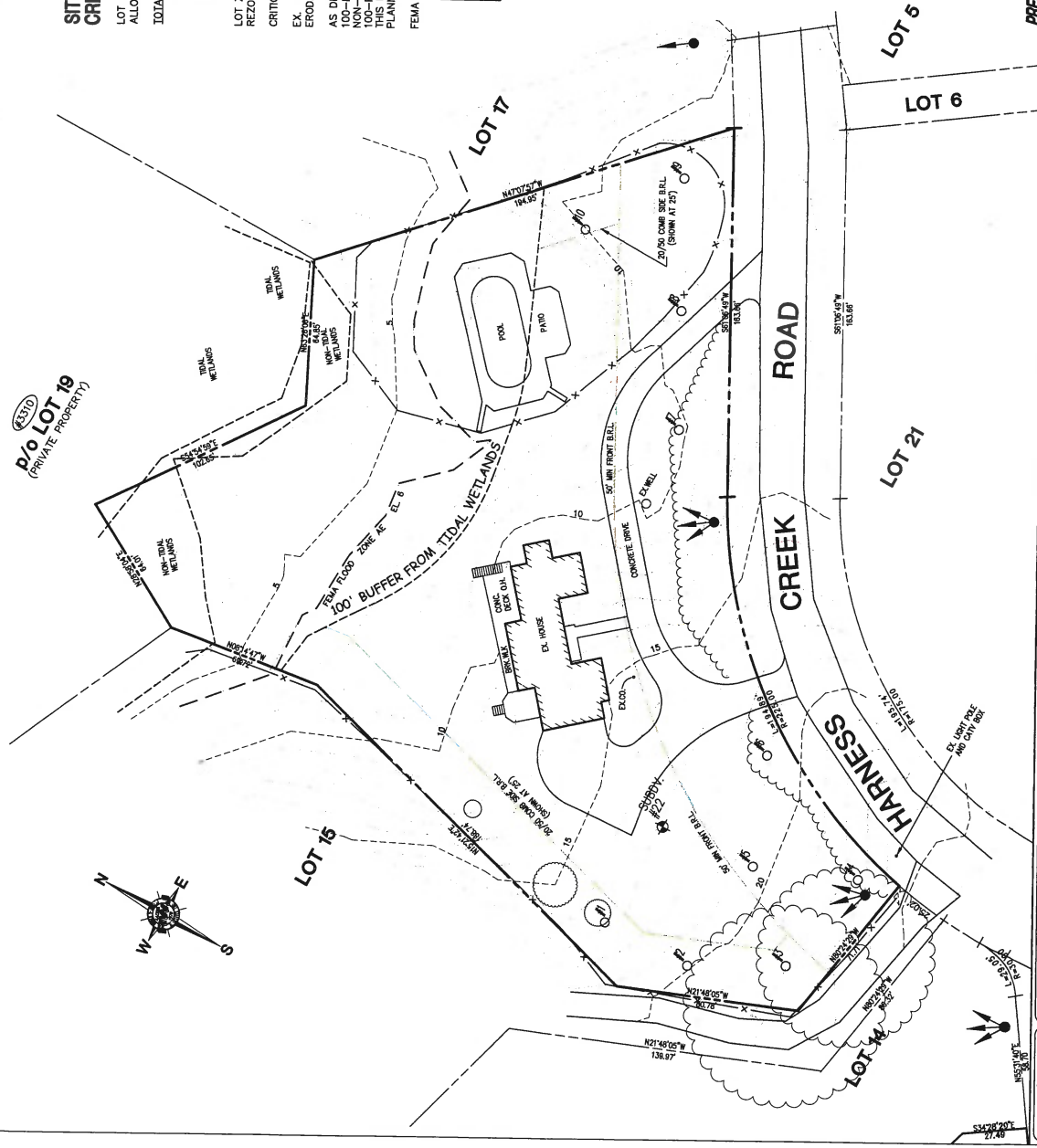
* THE LOT COVERAGE SHOWN HEREON IS ESTIMATED FROM AERIAL PHOTOGRAPHS AND GEOMATIC CALCULATIONS. LOT COVERAGE SHOULD BE CONFIRMED BY FIELD SURVEY.

SETBACKS, RLD ZONING

PRINCIPAL STRUCTURE	50'
FRONT	20'/50' COMB.
SIDE YARD	(100' BUFFER)
REAR YARD	45'
MAX HEIGHT	
ACCESSORY STRUCTURES	
FRONT	60' (OR NO CLOSER THAN EX. PRIN. STR., WHICHEVER IS GREATER)
SIDE YARD	20'
REAR YARD	20'
MAX HEIGHT	

(WITH A 1:1 INCREASE IN BOTH SIDE SETBACKS FOR EVERY FOOT ABOVE 25', 45' MAX.)

** (20 FEET OR, FOR STRUCTURES LESS THAN 8 FEET IN HEIGHT (OTHER THAN SWIMMING POOLS, TENNIS COURTS, BASKETBALL COURTS, AND SHARABLE PRIVATE RECREATION FACILITIES), NECESSARY TO SINGLE-FAMILY DETACHED, DUPLEX, OR SEMI-DETACHED DWELLINGS), 10 FEET)



CURRENT PLAT PA 28 PG 48
 PRELIMINARY BUFFER AND IMPERVIOUS DETERMINATION

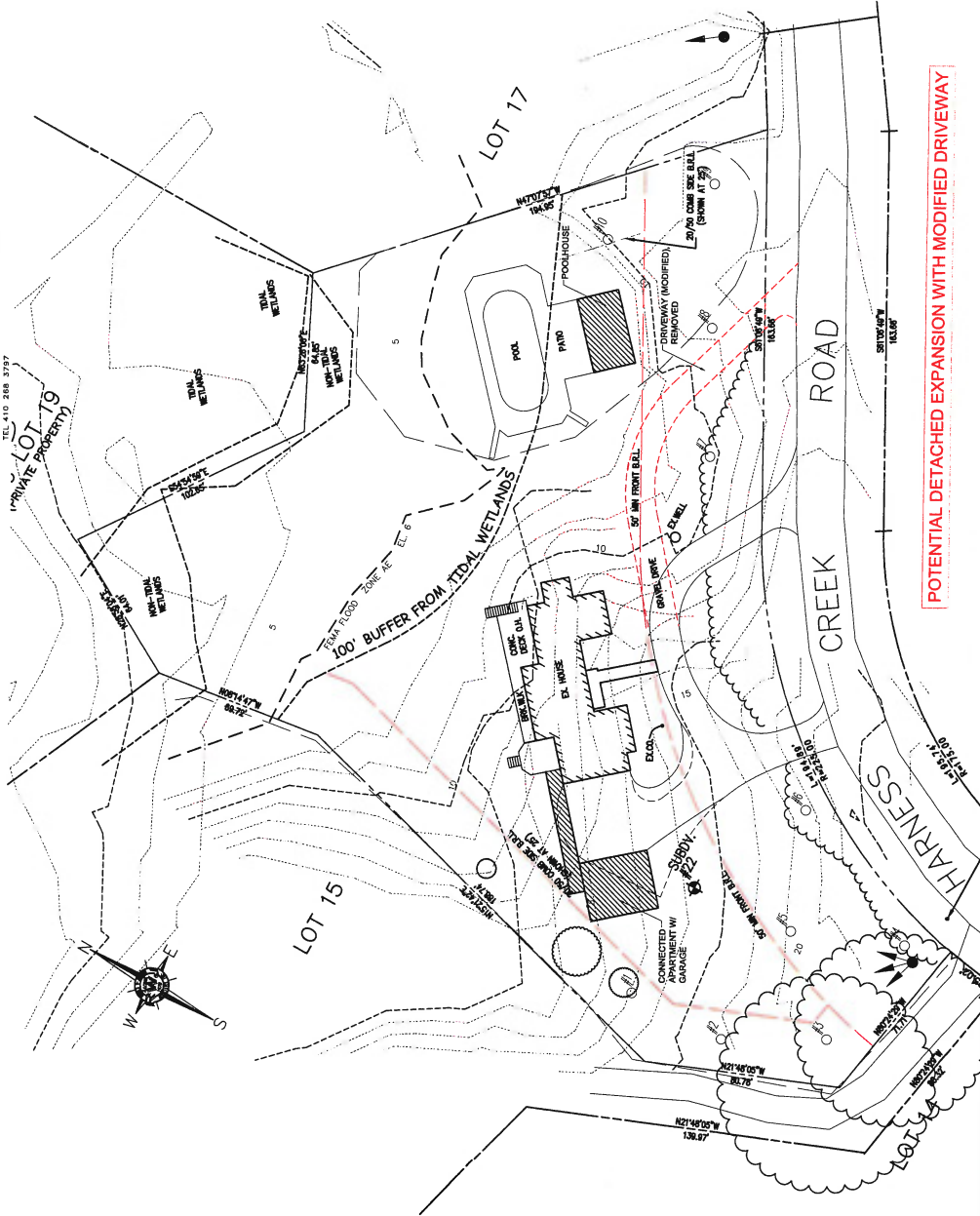
WIMBLEDON FARMS LOTS 16

3554 HARNESS CREEK ROAD (SOUTH END)
 TAX MAP 56, BLOCK 17, PARCEL 293
 PROJECT: 2004 ANNE ARUNDEL CO., MD
 SCALE: 1" = 50'



Ronald W. Johnson Associates, Inc.
 Consulting Engineers . Land Planners . Surveyors
 2661 Riva Road Building 400, Suite 420 Annapolis, MD 21401
 410.841.5221 410.266.6612 Fax 410.841.5124





SITE DATA & CRITICAL AREA INFORMATION

LOT AREA: 70,047 S.F.
 ALLOWABLE LOT COVERAGE (15%): 10,507 S.F.
 TOTAL LOT COVERAGE (AS SHOWN): 10,770 S.F. ±

HOUSE: 2,135 S.F. ±
 ENTRY STOOP & WALK: 195 S.F. ±
 REAR CONCRETE DECK: 725 S.F. ±
 CONCRETE DRIVEWAY: 5,125 S.F. ±
 POOL AND POOL DECKING: 2,475 S.F. ±

LOT ZONING: RLD/OS (CHANGED FROM R1 WITH COMPREHENSIVE REZONING)

CRITICAL AREA DESIGNATION: RCA
 EX. SOIL: ANNAPOLIS LOAMY SAND (A-B&C) K=0.17 (NOT HIGHLY ERODABLE)

AS DETERMINED BY USDA, SOIL CLASSIFICATION (A&c) AT 100-FOOT BUFFER. THE SLOPE OF LOT 16 IS 0.17% AND CLASSIFIED AS NON-HYDRO. THE SLOPE IS LESS THAN 5% THEREFORE 100-FOOT BUFFER TO TIDAL WETLANDS HAS NOT BEEN EXPANDED. THIS DETERMINATION IS SUBJECT TO ANNE ARUNDEL COUNTY PLANNING & ZONING REVIEW AND APPROVAL.

FEMA FLOOD: AE ELEVATION 6, MAP #24003C022F 2/18/15

* THE LOT COVERAGE SHOWN HEREON IS ESTIMATED BY PHOTOS AND GEOGRAPHIC INFORMATION (GIS). FOR ACCURATE CALCULATIONS, LOT COVERAGE SHOULD BE DETERMINED BY FIELD SURVEY.

SETBACKS, RLD ZONING

PRINCIPAL STRUCTURE
 FRONT: 50'
 SIDE YARD: 20'/50' COMB. (100' BUFFER)
 REAR YARD: 45'

MAX HEIGHT: 45'

ACCESSORY STRUCTURES
 FRONT: 60' (OR NO CLOSER THAN EX. PRIN. STR. WHICHEVER IS GREATER)
 SIDE YARD: 20'
 REAR YARD: 20'
 MAX HEIGHT: 25'

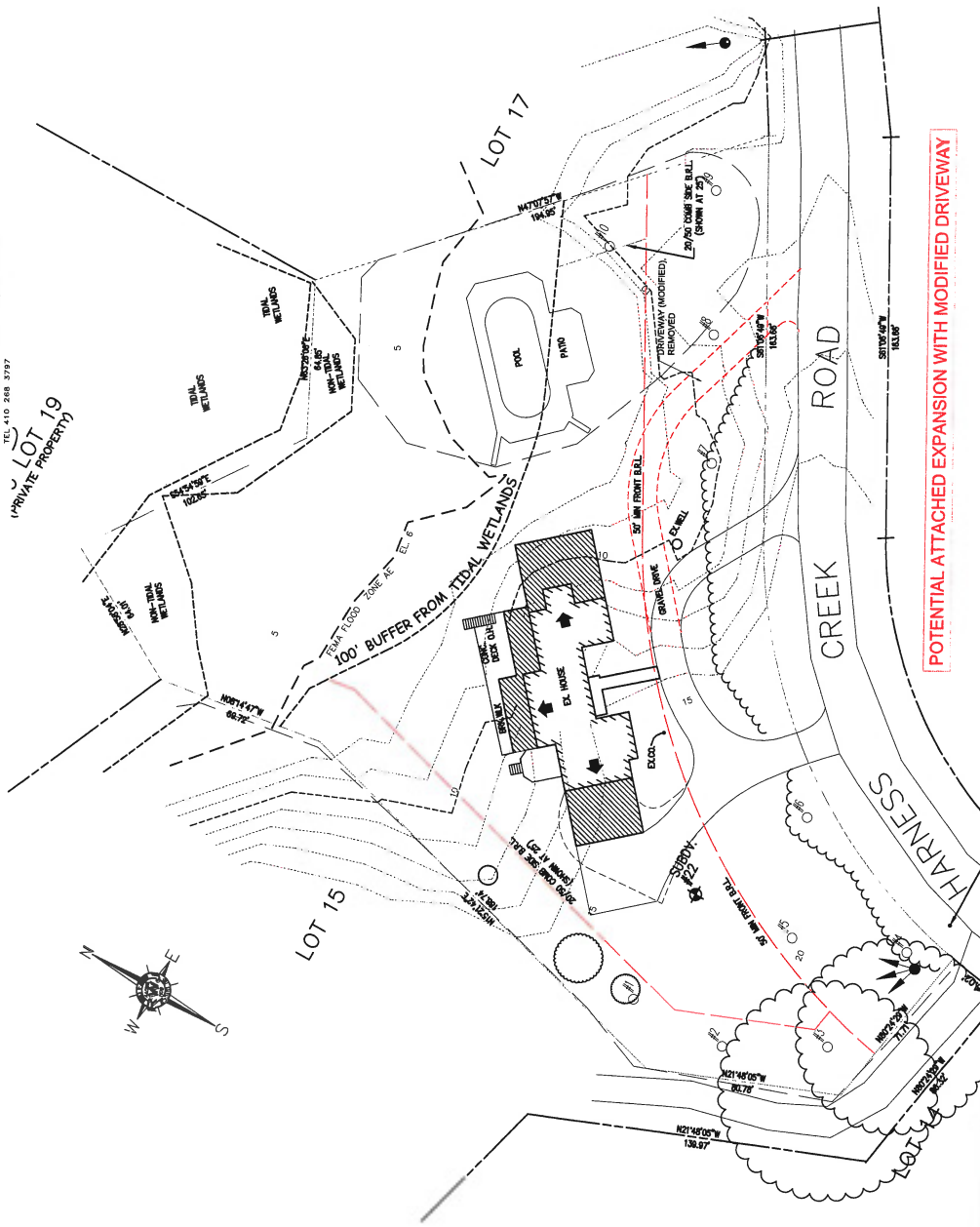
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RONALD W. JOHNSON ASSOCIATES, INC.
 CONSULTING ENGINEERS, LAND PLANNERS, SURVEYORS
 2661 RIVA ROAD, BUILDING 400, SUITE 420, ANNAPOLIS MD 21401
 410.841.5221 410.266.6612 FAX 410.841.5124

PROJECT NAME: Wimbleton Farms Lot 16	DRAWING TITLE: House Expansion - Option 1	SHEET NUMBER: Option 1
DATE: 5/16/2016	SCALE: NOT TO SCALE	PROJECT NUMBER:

POTENTIAL DETACHED EXPANSION WITH MODIFIED DRIVEWAY

LOT 19
 (PRIVATE PROPERTY)



POTENTIAL ATTACHED EXPANSION WITH MODIFIED DRIVEWAY

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FRONT SToop & WALK: 2,280 S.F. ±
 REAR CONCRETE DECK: 725 S.F. ±
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 POOL AND POOL DECKING: 2,475 S.F. ±

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FEMA FLOOD: AE ELEVATION 6, MAP #24003C0242F 2/18/15
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SETBACKS, RLD ZONING

PRINCIPAL STRUCTURE	50'
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SIDE YARD	(100' BUFFER)
REAR YARD	
MAX HEIGHT	45'

ACCESSORY STRUCTURES	
FRONT	60' (OR NO CLOSER THAN EX. PRIN. STR. WHICHEVER IS GREATER)
SIDE YARD	20'
REAR YARD	20'
MAX HEIGHT	25'

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 410.841.5221 410.266.6612 FAX 410.841.5124

PROJECT NAME: **Wimbleton Farms Lot 16**

DRAWING TITLE: **House Expansion - Option 2**

SHEET NUMBER: **Option 2**

DATE: 5/16/2016

SCALE: NOT TO SCALE

PROJECT NUMBER: