

Foundation/ Basement Plan

SCALE: 1/4" = 1'-0" (22X34)

FLOOR PLAN KEYNOTES

- 101 SINK W/ GARBAGE DISPOSAL.
- 102 DISHWASHER.
- 103 REFRIGERATOR.
- 104 RANGE W/ HOOD/MICRO.
- 107 PANTRY SHELVES PER BUILDER SPEC.
- 108 BASE CABINETS.
- 109 UPPER CABINETS.
- 110 WATER CLOSET.
- 111 LAV. SINK.
- 112 PED. SINK.
- 113 SHOWER (SIZE PER PLAN).
- 116 TUB/SHOWER (SIZE PER PLAN).
- 117 LINEN SHELVES PER BUILDER SPEC.
- 118 WASHER.
- 119 DRYER.
- 121 LINE OF SHELF ABOVE.
- 122 ROD & SHELF.
- 123 ATTIC ACCESS (22"x30" U.N.O.).
- 124 HANDRAIL.
- 125 SOLID CORE DOOR W/ SELF CLOSER.
- 126 LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
- 127 PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AS REQUIRED BY CODE.
- 128 SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
- 130 LINE OF SOFFIT ABOVE (REFER TO EXTERIOR ELEVATIONS FOR HEIGHTS AND DETAILS).
- 131 GYPSUM BOARD SOFFIT (HEIGHT AS NOTED).
- 132 LINE OF FRAMING ABOVE.
- 133 LINE OF FRAMING BELOW.
- 135 PREFABRICATED FIREPLACE, GAS (NON-WOOD BURNING) AS SPECIFIED BY BUILDER.
- 137 42" HIGH EXTERIOR GUARDRAIL W/ BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
- 141 2x4 HALF WALL @ 42" A.F.F. W/ WOOD CAP.
- 147 LINE OF DECK ABOVE.
- 148 BEAM POCKET.
- 150 TOILET PAPER HOLDER 19" MIN A.F.F.
- 151 TOWEL BAR 48" A.F.F.
- 152 TOWEL RING 48" A.F.F.
- 154 PRIVACY WALLS AS REQUIRED PER OWNER AND SITE CONDITIONS

CONSTRUCTION ASSEMBLIES:

- T THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS.
- A. ROOF CONSTRUCTION:
COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
- B1. TYPICAL SIDING WALL CONSTRUCTION:
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
- B2. TYPICAL STONE VENEER WALL CONSTRUCTION:
ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
- C. TYPICAL FLOOR CONSTRUCTION:
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
- D. CONCRETE SLAB CONSTRUCTION:
4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL BASEMENT PLAN NOTES:

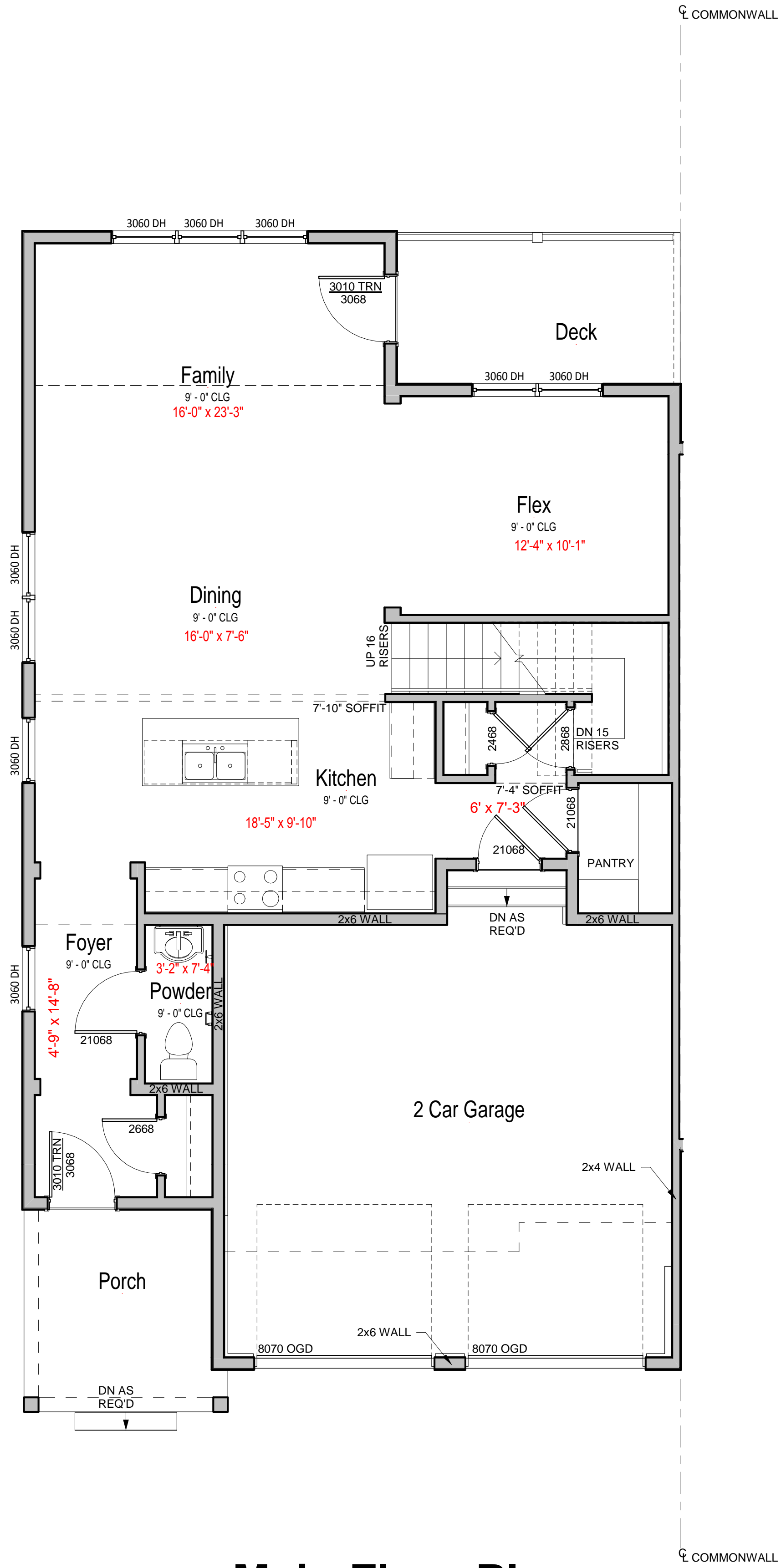
- * ALL UNDIMENSIONED PARTITIONS (1") ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- * IF MAIN FLOOR FRAMING IS TO BE INSTALLED BEFORE CONCRETE FLOOR, PROVIDE THE FOLLOWING:
** AT PAD FOOTINGS, PROVIDE 8"x8" CONCRETE PEDESTAL FLUSH WITH CONCRETE FLOOR FOR ATTACHMENT OF POST BASE
** AT CONTINUOUS FOOTINGS UNDER FRAMING BEARING WALLS, PROVIDE 6" WIDE CONTINUOUS CONCRETE STEM, TOP OF STEM FLUSH WITH CONCRETE FLOOR & CENTERED ON FOOTING.
- * ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- * ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- * WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS MEETS ALL EMERGENCY EGRESS REQUIREMENTS.
- * ALL ELECTRICAL AND MECHANICAL EQUIPMENT, METER LOCATIONS, ETC SHALL BE CONFIRMED BY MECHANICAL AND ELECTRICAL CONTRACTORS. CONTRACTORS SHALL COORDINATE WITH BUILDER PRIOR TO RELOCATION OF EQUIPMENT AND METERS.
- * ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS UNLESS NOTED OTHERWISE.
- * TRUSS INFO. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
- * FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND DETAILS.
- * TYPICAL WINDOW HEAD HEIGHTS SHALL BE 7'-0" A.F.F. (U.N.O.)
- * PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS, SEE DETAILS

ISSUE DATE:	02/09/18
REVISIONS	

O'Brien Home Farm Duplex Downhill Lot
 South Burlington, Vermont
 O'Brien Brothers Agency

JOB NO: FOUNDATION/ WALKOUT
 DRAWN: PLAN-F1
 PROJ MGR: BALSAM
 CHECKED:

BALSAM
C-A0.2F1



Main Floor Plan

SCALE: 1/4" = 1'-0" (22x34)

FLOOR PLAN KEYNOTES

- 101 SINK W/ GARBAGE DISPOSAL.
- 102 DISHWASHER.
- 103 REFRIGERATOR.
- 104 RANGE W/ HOOD/MICRO.
- 107 PANTRY SHELVES PER BUILDER SPEC.
- 108 BASE CABINETS.
- 109 UPPER CABINETS.
- 110 WATER CLOSET.
- 111 LAV. SINK.
- 112 PED. SINK.
- 113 SHOWER (SIZE PER PLAN).
- 116 TUB/SHOWER (SIZE PER PLAN).
- 117 LINEN SHELVES PER BUILDER SPEC.
- 118 WASHER.
- 119 DRIVER.
- 121 LINE OF SHELF ABOVE.
- 122 ROD & SHELF.
- 123 ATTIC ACCESS (22"x30" U.N.O.).
- 124 HANDRAIL.
- 125 SOLID CORE DOOR W/ SELF CLOSER.
- 126 LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
- 127 PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AS REQUIRED BY CODE.
- 128 SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
- 130 LINE OF SOFFIT ABOVE (REFER TO EXTERIOR ELEVATIONS FOR HEIGHTS AND DETAILS).
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- 132 LINE OF FRAMING ABOVE.
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- 135 PREFABRICATED FIREPLACE, GAS (NON-WOOD BURNING) AS SPECIFIED BY BUILDER.
- 137 42" HIGH EXTERIOR GUARDRAIL W/ BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
- 141 2x4 HALF WALL @ 42" A.F.F. W/ WOOD CAP.
- 147 BEAM POCKET.
- 148 TOILET PAPER HOLDER 19" MIN A.F.F.
- 151 TOWEL BAR 48" A.F.F.
- 152 TOWEL RING 48" A.F.F.
- 154 PRIVACY WALLS AS REQUIRED PER OWNER AND SITE CONDITIONS

CONSTRUCTION ASSEMBLIES:

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS
- A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS). CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
 - B1. TYPICAL SIDING WALL CONSTRUCTION: SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - B2. TYPICAL STONE VENEER WALL CONSTRUCTION: ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - C. TYPICAL FLOOR CONSTRUCTION: FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
 - D. CONCRETE SLAB CONSTRUCTION: 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FLOOR PLAN NOTES:

- ALL UNDIMENSIONED PARTITIONS (1") ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS MEETS ALL EMERGENCY EGRESS REQUIREMENTS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT, METER LOCATIONS, ETC. SHALL BE CONFIRMED BY MECHANICAL AND ELECTRICAL CONTRACTORS. CONTRACTORS SHALL COORDINATE WITH BUILDER PRIOR TO RELOCATION OF EQUIPMENT AND METERS.
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS UNLESS NOTED OTHERWISE.
- TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
- FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND DETAILS.
- TYPICAL WINDOW HEAD HEIGHTS SHALL BE 8'-0 7/8" A.F.F. (U.N.O.) W/ 9'-1 1/8" CLG. AND 7'-0 7/8" A.F.F. (U.N.O.) W/ 8'-1 1/8" CLG.
- PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS, SEE DETAILS

Square Footages-F1	
	ELEVATION F1
MAIN FLOOR LIVING	964 SF
UPPER FLOOR LIVING	989 SF
TOTAL LIVING	1953 SF
PLAN OPTIONS	
OPT FINISHED BASEMENT	626 SF

Elevation - F1

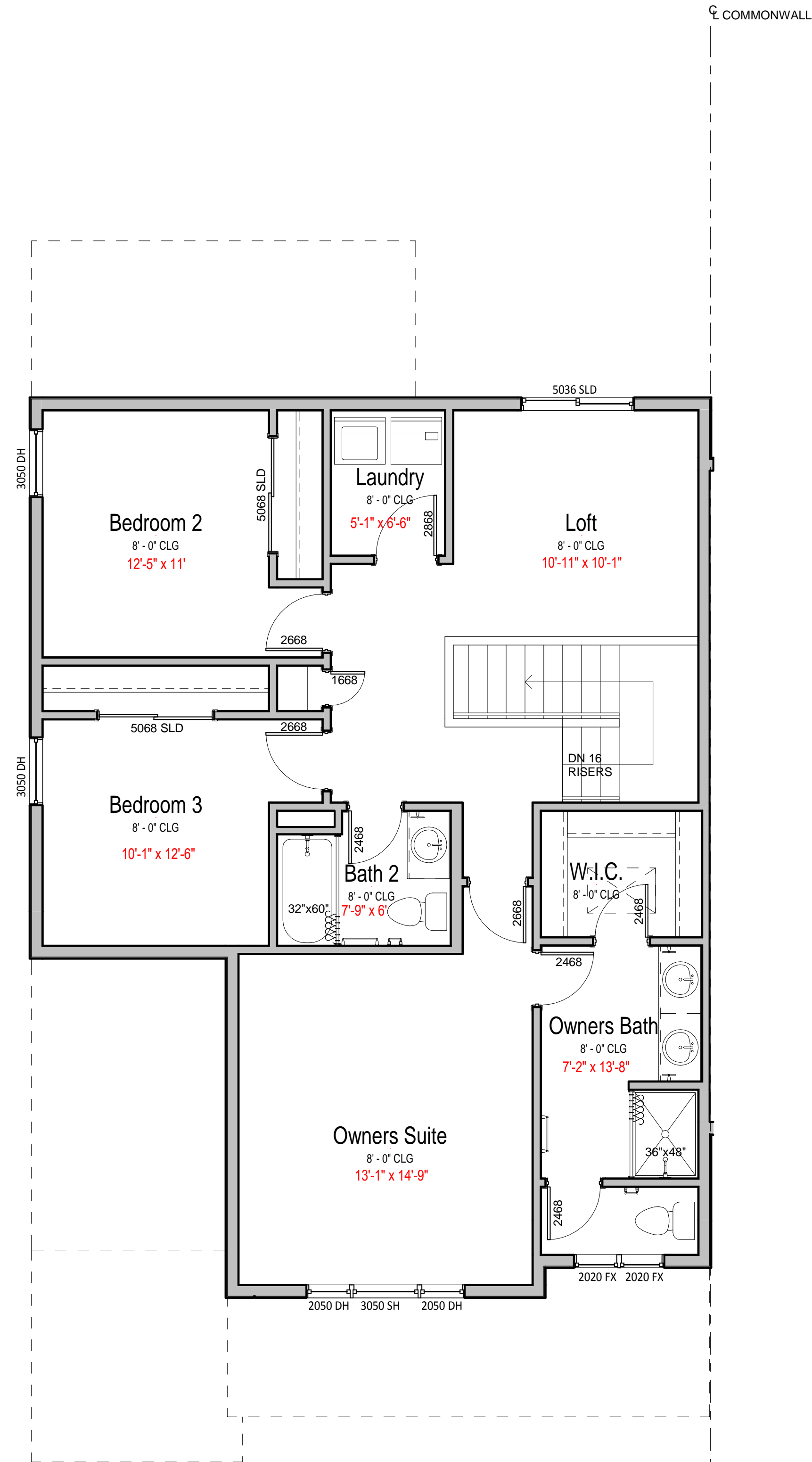
ISSUE DATE: 02/09/18

REVISIONS	

O'Brien Home Farm Duplex Downhill Lot
 South Burlington, Vermont
 O'Brien Brothers Agency

JOB NO: PROJ MGR:
 DRAWN: CHECKED:
 MAIN FLOOR PLAN-F1

BALSAM
C-A1.2F1



Upper Floor Plan

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 O'Brien Brothers Agency

JOB NO: _____ PROJ MGR: _____
 DRAWN: _____ CHECKED: _____

UPPER FLOOR PLAN-F1

BALSAM
C-A2.2F1