

O'Brien Home Farm Duplex Downhill Lot DUP1-Building 6 (Cedar-Juniper) South Burlington, Vermont



Cedar
Elevation - F1
(Modern Farmhouse)

Juniper
Elevation - F1
(Modern Farmhouse)

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F-S2.8F1	ROOF FRAMING PLAN-F1
F-S1.8F1	UPPER FLOOR FRAMING PLAN-F1

ISSUE DATE: 01/26/2026

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O'Brien Brothers Agency

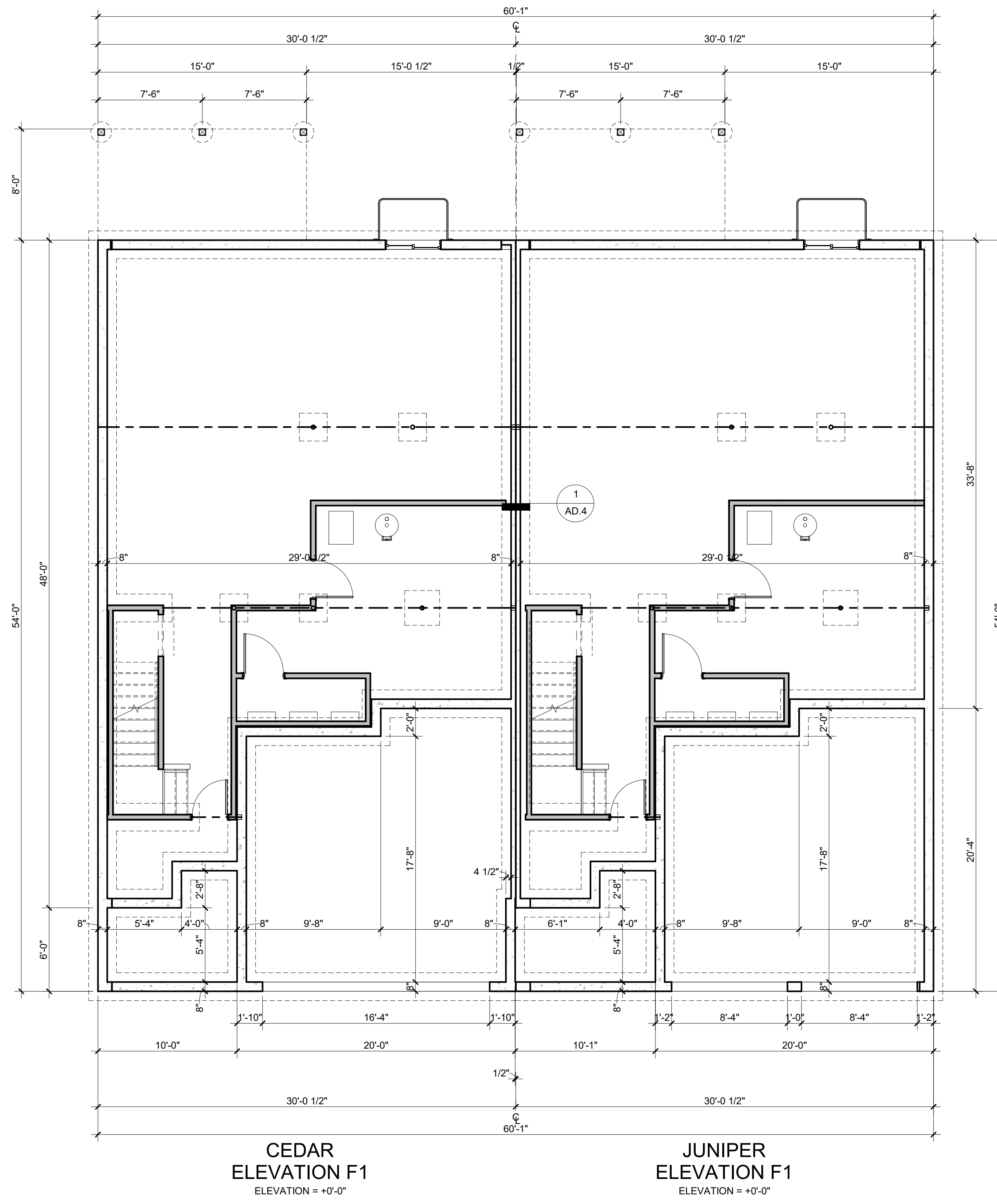


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COVER SHEET, SHEET INDEX

BUILDING 6
AGN0.1



**CEDAR
ELEVATION F1**
ELEVATION = +0'-0"

**JUNIPER
ELEVATION F1**
ELEVATION = +0'-0"

Foundation/ Basement Plan

SCALE: 3/16" = 1'-0" (22x34)

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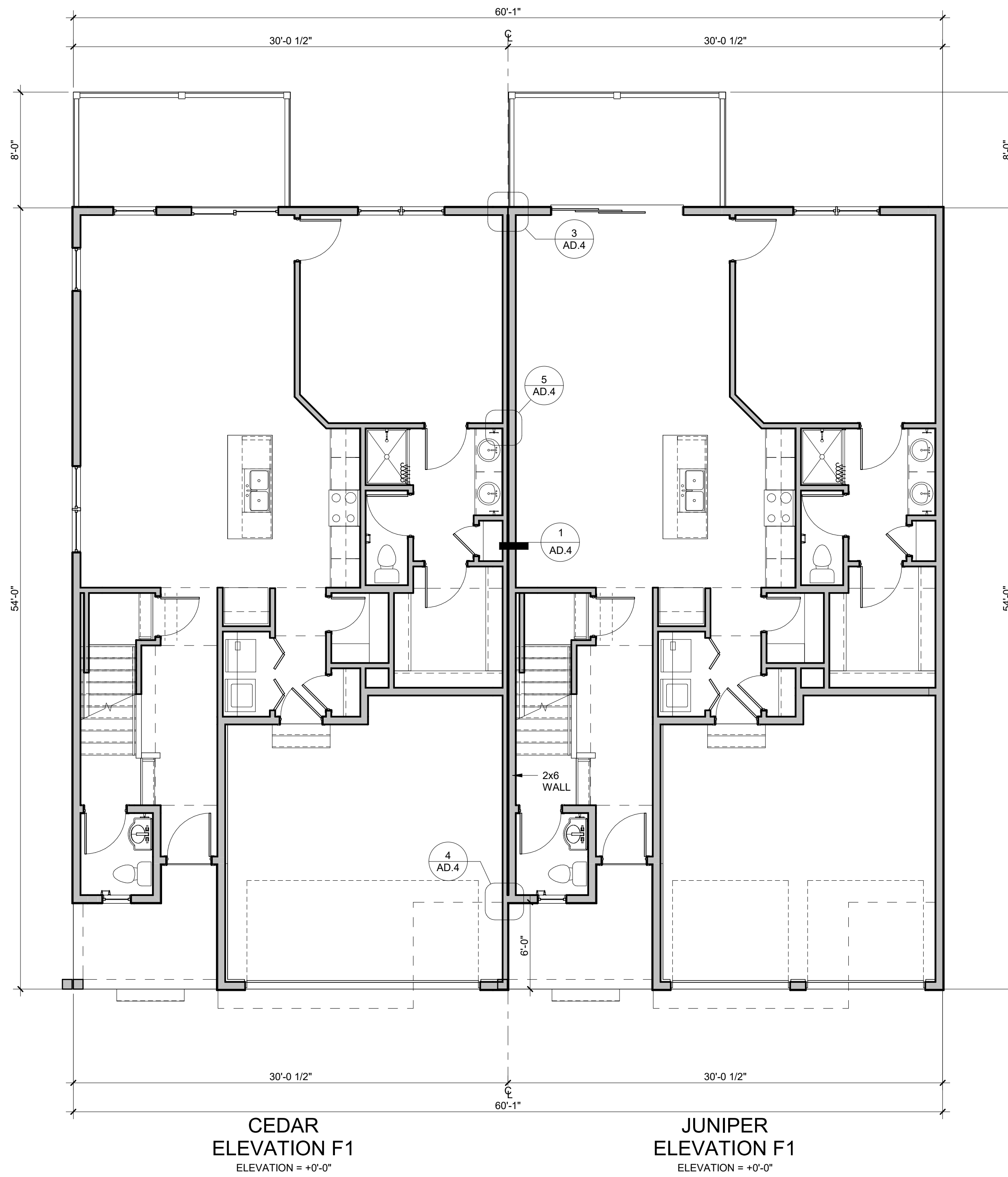
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FOUNDATION/ BASEMENT
PLAN

BUILDING 6

A0.1



CEDAR
ELEVATION F1
ELEVATION = +0'-0"

JUNIPER
ELEVATION F1
ELEVATION = +0'-0"

Main Floor Plan

SCALE: 3/16" = 1'-0" (22x34)

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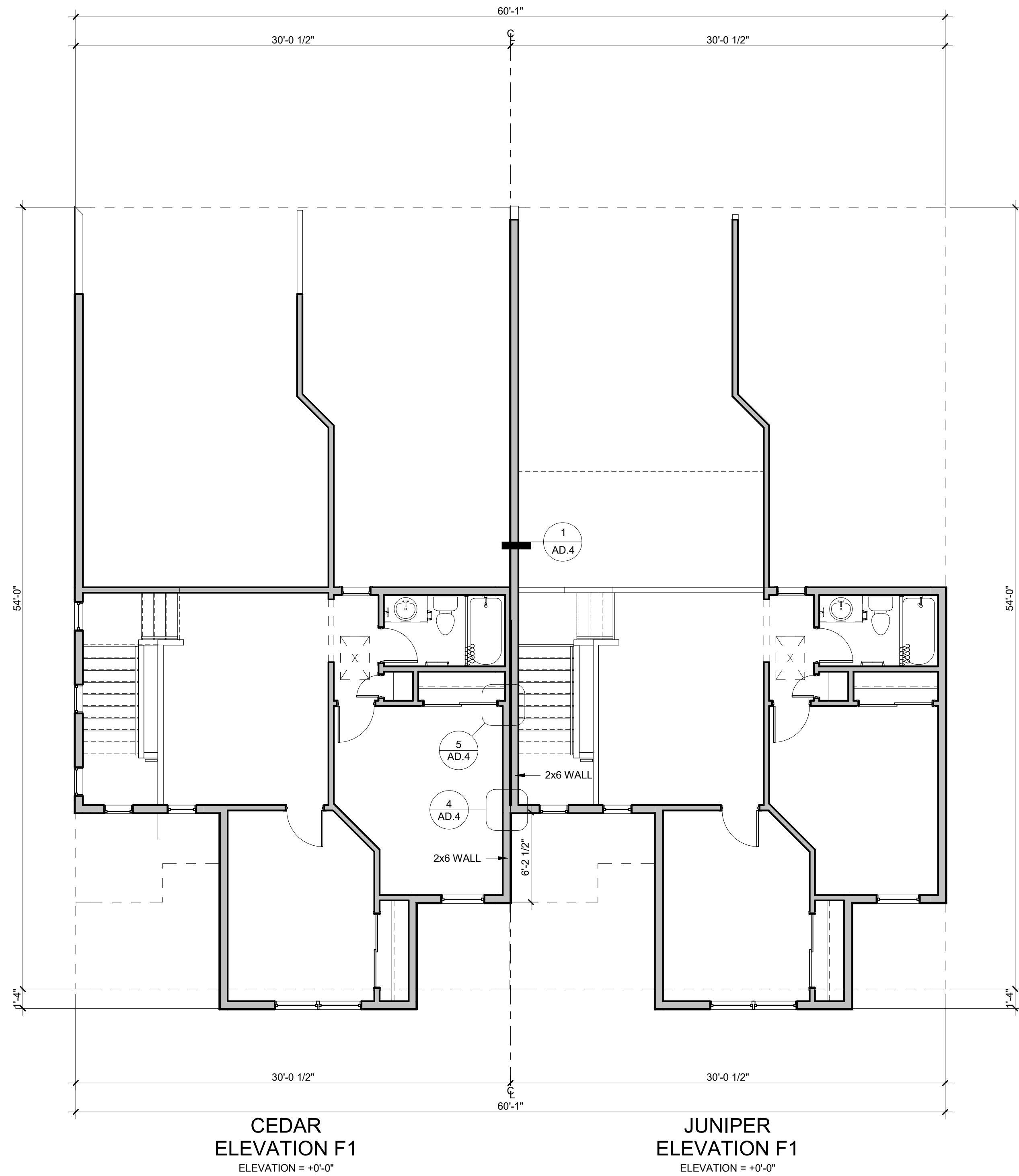
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MAIN FLOOR PLAN

BUILDING 6

A1.1



Upper Floor Plan

SCALE: 3/16" = 1'-0" (22x34)

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UPPER FLOOR PLAN

BUILDING 6

A2.1



JUNIPER
ELEVATION F1
ELEVATION = +0'-0"

CEDAR
ELEVATION F1
ELEVATION = +0'-0"

Rear Elevation

SCALE: 3/16" = 1'-0" (22x34)



CEDAR
ELEVATION F1
ELEVATION = +0'-0"

JUNIPER
ELEVATION F1
ELEVATION = +0'-0"

Front Elevation

SCALE: 3/16" = 1'-0" (22x34)

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EXTERIOR ELEVATIONS

BUILDING 6

A3.1



JUNIPER
ELEVATION F1
ELEVATION = +0'-0"

Right Elevation

SCALE: 3/16" = 1'-0" (22x34)



CEDAR
ELEVATION F1
ELEVATION = +0'-0"

Left Elevation

SCALE: 3/16" = 1'-0" (22x34)

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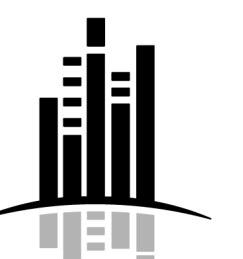
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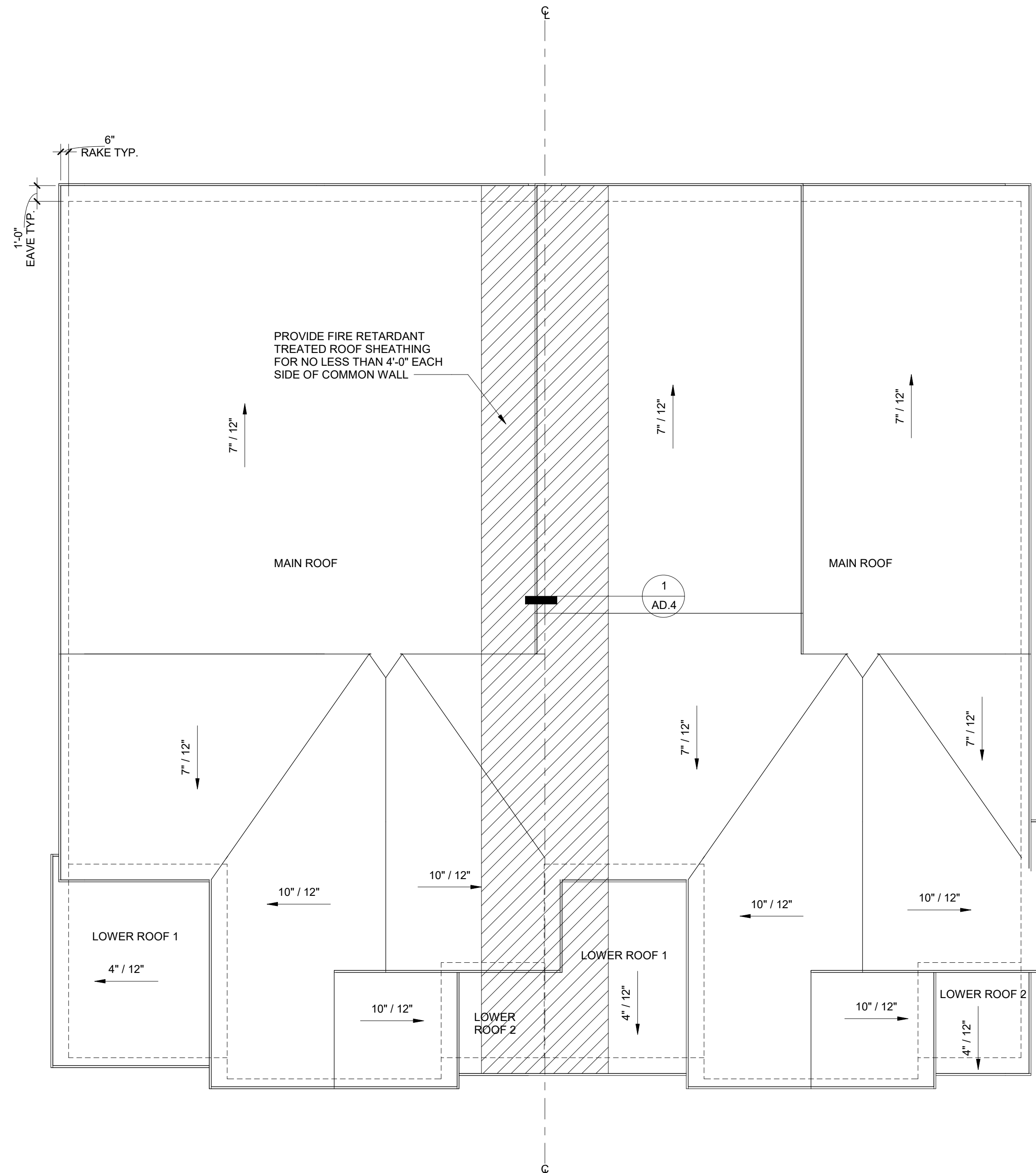
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EXTERIOR ELEVATIONS

BUILDING 6

A3.2



ATTIC VENTILATION SCHEDULE CEDAR (ELEVATION F1)

NOTE:
 * REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY 1/300 AND MULTIPLYING SUM BY 144 SQ IN/SQ FT 40%-50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND THE REMAINING IS THE REQUIRED IN THE SOFFIT (LOW). WHEN NO "HIGH/LOW" VENTING IS PROVIDED, THE REQUIRED NET FREE AREA IS 1/150 OF THE ACTUAL AREA AND 100% OF THIS VENTED AREA SHALL BE PROVIDED AT THE SOFFIT.
 ** ACTUAL NET FREE VENTED SOFFIT AREAS ARE CALCULATED BY DIVIDING THE REQUIRED NET FREE VENTED SOFFIT AREA (FT) BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA PER VENT. WHEN APPLICABLE, THE ACTUAL TOTAL NUMBER OF SOFFIT VENTS SHALL BE DIVIDED EQUALLY BETWEEN EACH EAVE AND SPACED AN EQUAL DISTANCE APART FROM ONE ANOTHER.
 ACTUAL NET FREE VENTED RIDGE AREAS ARE CALCULATED BY DIVIDING THE REQUIRED NET FREE VENTED RIDGE AREA (FT) BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA PER VENT.

NAME	AREA	TOTAL NET VENTED (1/300) (SQ IN)	TOTAL NET VENTED (1/150) (SQ IN)	*LOWER VENT MIN (50%)	*LOWER VENT MAX (60%)	*UPPER VENT MIN (40%)	*UPPER VENT MAX (50%)
MAIN ROOF	1474 SF	708 in ²	1415 in ²	354 in ²	425 in ²	283 in ²	354 in ²
LOWER ROOF 1	127 SF	61 in ²	122 in ²	30 in ²	36 in ²	24 in ²	30 in ²
LOWER ROOF 2	39 SF	19 in ²	38 in ²	9 in ²	11 in ²	8 in ²	9 in ²

CEDAR
ELEVATION F1
 ELEVATION = +0'-0"

JUNIPER
ELEVATION F1
 ELEVATION = +0'-0"

Roof Plan

SCALE: 3/16" = 1'-0" (22x34)

ATTIC VENTILATION SCHEDULE JUNIPER (ELEVATION F1)

NOTE:
 * REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY 1/300 AND MULTIPLYING SUM BY 144 SQ IN/SQ FT 40%-50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND THE REMAINING IS THE REQUIRED IN THE SOFFIT (LOW). WHEN NO "HIGH/LOW" VENTING IS PROVIDED, THE REQUIRED NET FREE AREA IS 1/150 OF THE ACTUAL AREA AND 100% OF THIS VENTED AREA SHALL BE PROVIDED AT THE SOFFIT.
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MAIN ROOF	1474 SF	708 in ²	1415 in ²	354 in ²	425 in ²	283 in ²	354 in ²
LOWER ROOF 1	127 SF	61 in ²	122 in ²	31 in ²	37 in ²	24 in ²	31 in ²
LOWER ROOF 2	39 SF	19 in ²	37 in ²	9 in ²	11 in ²	7 in ²	9 in ²

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ROOF PLAN

BUILDING 6

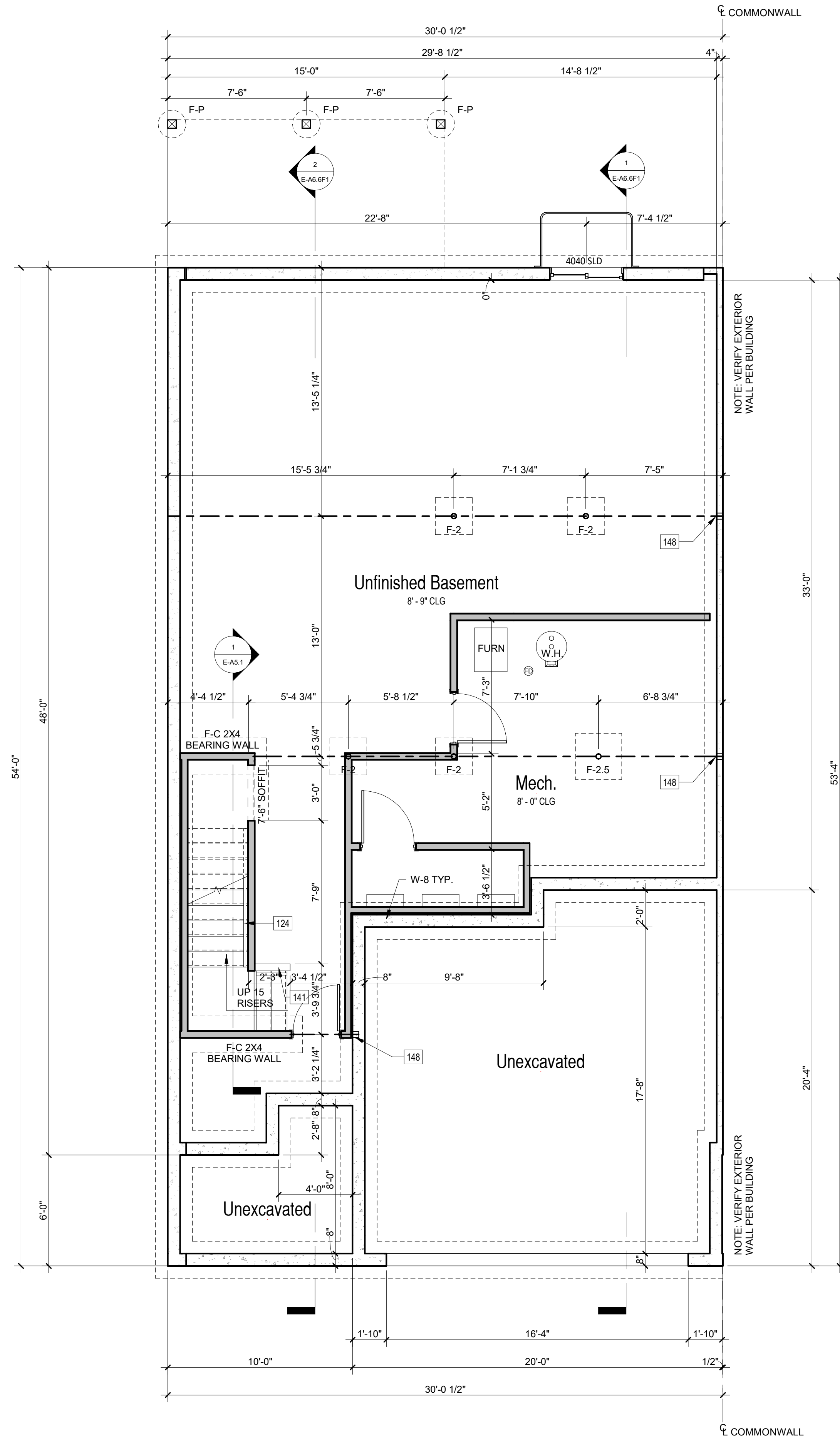
A4.1

FOOTING SCHEDULE					
SYMBOL	TYPE	SIZE	REINFORCING	COLUMN	COMMENTS
F-P	PIER (EXTERIOR)	12" SONOTUBE W/ BELL BOTTOM	NA	6x6 TREATED POST	48" MIN. BELOW FINISH GRADE
F-C	CONTINUOUS FOOTING	2'-0" WIDE x 0'-8" DEEP	3-#4's CONTINUOUS	NA	
F-2	PAD FOOTING (INTERIOR)	2'-0" x 2'-0" x 1'-0" DEEP	NA	3 1/2" LALLY COLUMN UNLESS NOTED OTHERWISE*	
F-2.5	PAD FOOTING (INTERIOR)	2'-6" x 2'-6" x 1'-0" DEEP	NA	3 1/2" LALLY COLUMN UNLESS NOTED OTHERWISE*	

*NOTE: LALLY COLUMNS SHALL HAVE THE ALLOWABLE MINIMUM LOAD CAPACITY OUTLINED IN THE GENERAL NOTES. SEE GENERAL NOTES FOR BOTTOM AND TOP BEARING PLATES.

FOUNDATION WALL SCHEDULE				
SYMBOL	WALL THICKNESS	WALL HEIGHT	REINFORCING	*CONTINUOUS FOOTING
W-8	8"	9'-0"	2 #4 BARS TOP & BOTTOM	1'-4" x 0'-8" W/ 2-#4's CONTINUOUS

*IF FOOTING IS BEARING ON EARTH BUILDER TO VERIFY SOIL PRESSURE AND USE 2'-0" x 0'-8" CONTINUOUS FOOTING



Square Footages-F1	
ELEVATION F1	
MAIN FLOOR LIVING	1168 SF
UPPER FLOOR LIVING	598 SF
TOTAL LIVING	1766 SF
PLAN OPTIONS	
OPT FINISHED BASEMENT	814 SF

FLOOR PLAN KEYNOTES

- 101 SINK W/ GARBAGE DISPOSAL.
- 102 DISHWASHER.
- 103 REFRIGERATOR.
- 104 RANGE W/ HOOD/MICRO.
- 108 BASE CABINETS.
- 109 UPPER CABINETS.
- 110 WATER CLOSET.
- 111 LAV. SINK.
- 112 PED. SINK.
- 113 SHOWER (SIZE PER PLAN).
- 116 TUB/SHOWER (SIZE PER PLAN).
- 117 LINEN SHELVES PER BUILDER SPEC.
- 118 WASHER.
- 119 DRYER.
- 121 LINE OF SHELF ABOVE.
- 122 ROD & SHELF.
- 123 ATTIC ACCESS (22"x30" U.N.O.).
- 124 HANDRAIL.
- 125 SOLID CORE DOOR W/ SELF CLOSER.
- 126 LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
- 127 PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AS REQUIRED BY CODE.
- 128 SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
- 130 LINE OF SOFFIT ABOVE (REFER TO EXTERIOR ELEVATIONS FOR HEIGHTS AND DETAILS).
- 131 GYPSUM BOARD SOFFIT (HEIGHT AS NOTED).
- 132 LINE OF FRAMING ABOVE.
- 133 LINE OF FRAMING BELOW.
- 137 42" HIGH EXTERIOR GUARDRAIL W/ BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
- 141 2x4 HALF WALL @ 42" A.F.F. W/ WOOD CAP.
- 147 LINE OF DECK ABOVE.
- 148 BEAM POCKET.
- 150 TOILET PAPER HOLDER 19" MIN A.F.F.
- 151 TOWEL BAR 48" A.F.F.
- 152 TOWEL RING 48" A.F.F.

CONSTRUCTION ASSEMBLIES:

- T** THE FOLLOWING KEYNOTES REFERENCE THE SYMBOLS AS SHOWN ON PLANS
- A. **ROOF CONSTRUCTION:** COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
 - 111 CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
 - B1. **TYPICAL SIDING WALL CONSTRUCTION:** SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
 - INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - B2. **TYPICAL STONE VENEER WALL CONSTRUCTION:** ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
 - INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - C. **TYPICAL FLOOR CONSTRUCTION:** FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
 - MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
 - D. **CONCRETE SLAB CONSTRUCTION:** 4" CONCRETE SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL BASEMENT PLAN NOTES:

- ALL UNDIMENSIONED PARTITIONS (□) ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- IF MAIN FLOOR FRAMING IS TO BE INSTALLED BEFORE CONCRETE FLOOR, PROVIDE THE FOLLOWING:
 - ** AT PAD FOOTINGS, PROVIDE 8"x8" CONCRETE PEDESTAL FLUSH WITH CONCRETE FLOOR FOR ATTACHMENT OF POST BASE
 - ** AT CONTINUOUS FOOTINGS UNDER FRAMING BEARING WALLS, PROVIDE 6" WIDE CONTINUOUS CONCRETE STEM, TOP OF STEM FLUSH WITH CONCRETE FLOOR & CENTERED ON FOOTING.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS MEETS ALL EMERGENCY EGRESS REQUIREMENTS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT, METER LOCATIONS, ETC SHALL BE CONFIRMED BY MECHANICAL AND ELECTRICAL CONTRACTORS. CONTRACTORS SHALL COORDINATE WITH BUILDER PRIOR TO RELOCATION OF EQUIPMENT AND METERS.
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS UNLESS NOTED OTHERWISE.
- TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
- FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND DETAILS.
- TYPICAL WINDOW HEAD HEIGHTS SHALL BE 7'-0" A.F.F. (U.N.O.)
- PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS. SEE DETAILS

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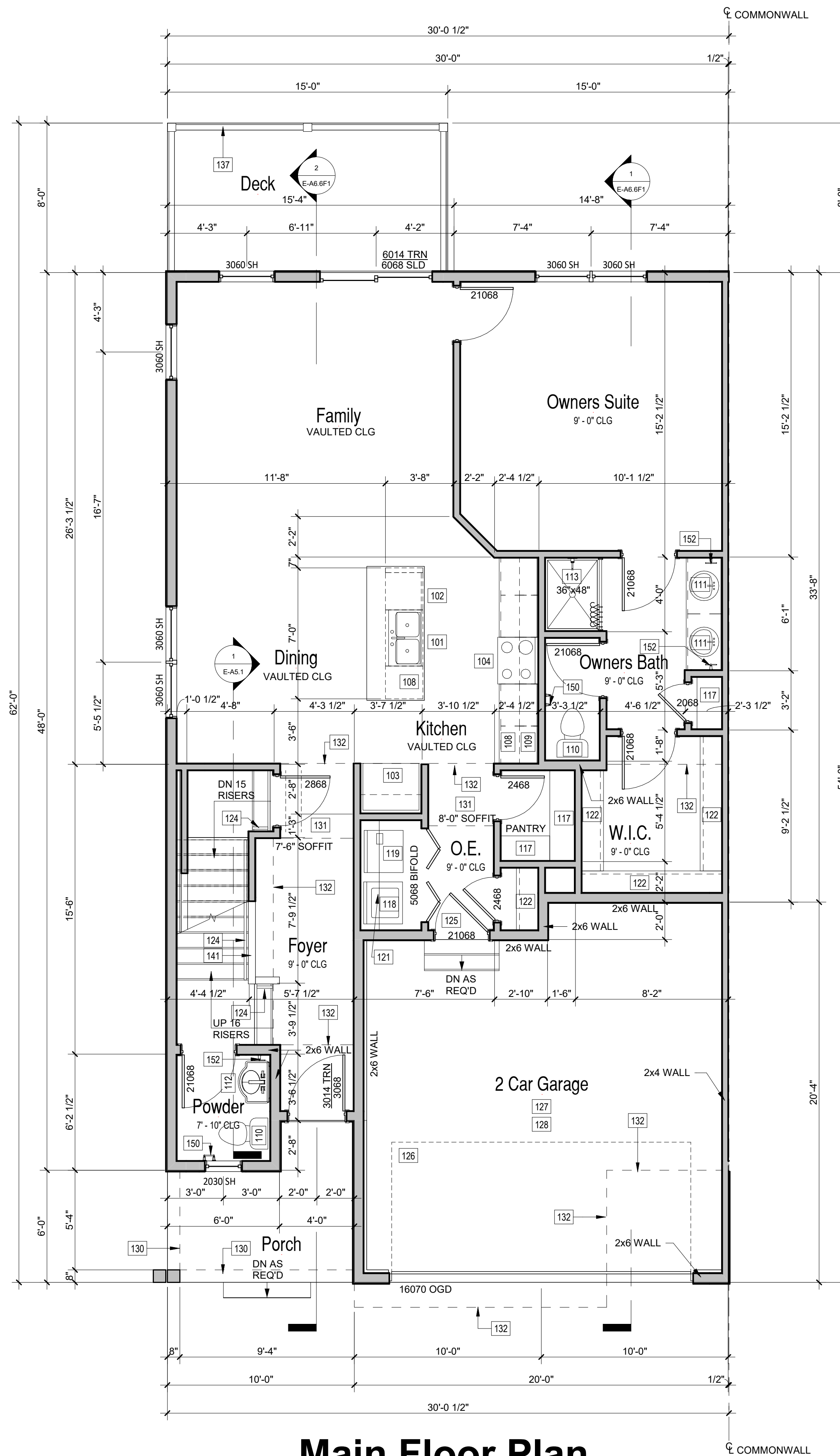
FOUNDATION/ BASEMENT
 PLAN-F1

CEDAR
E-A0.6F1

2 Foundation/ Basement Plan

SCALE: 1/4" = 1'-0"

Elevation - F1



Main Floor Plan

SCALE: 1/4" = 1'-0" (22x34)

FLOOR PLAN KEYNOTES

- 101 SINK W/ GARBAGE DISPOSAL.
- 102 DISHWASHER.
- 103 REFRIGERATOR.
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- C. TYPICAL FLOOR CONSTRUCTION: FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
- D. CONCRETE SLAB CONSTRUCTION: 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FLOOR PLAN NOTES:

- ALL UNDIMENSIONED PARTITIONS (T) ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
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- TYPICAL WINDOW HEAD HEIGHTS SHALL BE 8'-0" 7/8" A.F.F. (U.N.O.) W/ 9'-1 1/8" CLG. AND 7'-0" 7/8" A.F.F. (U.N.O.) W/ 8'-1 1/8" CLG.
- PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS. SEE DETAILS

Square Footages-F1	
	ELEVATION F1
MAIN FLOOR LIVING	1168 SF
UPPER FLOOR LIVING	598 SF
TOTAL LIVING	1766 SF
PLAN OPTIONS	
OPT FINISHED BASEMENT	814 SF

Elevation - F1

ISSUE DATE: 01/26/2026

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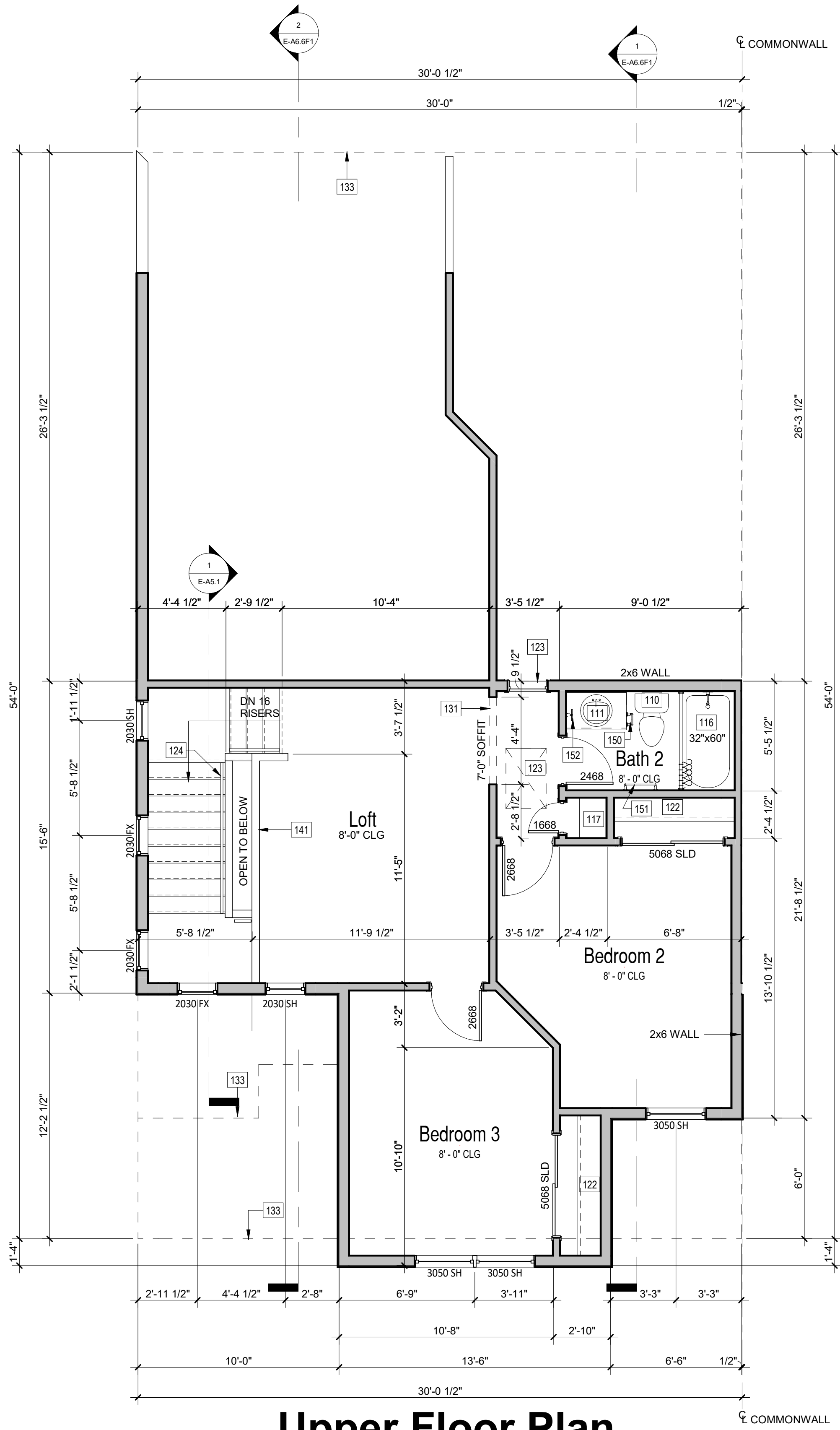


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MAIN FLOOR PLAN-F1

CEDAR
E-A1.6F1



Upper Floor Plan

SCALE: 1/4" = 1'-0" (22x34)

FLOOR PLAN KEYNOTES

- 101 SINK W/ GARBAGE DISPOSAL.
- 102 DISHWASHER.
- 103 REFRIGERATOR.
- 104 RANGE W/ HOOD/MICRO.
- 108 BASE CABINETS.
- 109 UPPER CABINETS.
- 110 WATER CLOSET.
- 111 LAV. SINK.
- 112 PED. SINK.
- 113 SHOWER (SIZE PER PLAN).
- 116 TUB/SHOWER (SIZE PER PLAN).
- 117 LINEN SHELVES PER BUILDER SPEC.
- 118 WASHER.
- 119 DRYER.
- 121 LINE OF SHELF ABOVE.
- 122 ROD & SHELF.
- 123 ATTIC ACCESS (22"x30" U.N.O.).
- 124 HANDRAIL.
- 125 SOLID CORE DOOR W/ SELF CLOSER.
- 126 LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
- 127 PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AS REQUIRED BY CODE.
- 128 SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
- 130 LINE OF SOFFIT ABOVE (REFER TO EXTERIOR ELEVATIONS FOR HEIGHTS AND DETAILS).
- 131 GYPSUM BOARD SOFFIT (HEIGHT AS NOTED).
- 132 LINE OF FRAMING ABOVE.
- 133 LINE OF FRAMING BELOW.
- 137 42" HIGH EXTERIOR GUARDRAIL W/ BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
- 141 2x4 HALF WALL @ 42" A.F.F. W/ WOOD CAP.
- 147 LINE OF DECK ABOVE.
- 148 BEAM POCKET.
- 150 TOILET PAPER HOLDER 19" MIN A.F.F.
- 151 TOWEL BAR 48" A.F.F.
- 152 TOWEL RING 48" A.F.F.

CONSTRUCTION ASSEMBLIES:

- T THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS.
- A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
- B1. TYPICAL SIDING WALL CONSTRUCTION: SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
- B2. TYPICAL STONE VENEER WALL CONSTRUCTION: ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
- C. TYPICAL FLOOR CONSTRUCTION: FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
- D. CONCRETE SLAB CONSTRUCTION: 4" CONCRETE SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FLOOR PLAN NOTES:

- * ALL UNDIMENSIONED PARTITIONS (r1) ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- * ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- * ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- * WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS MEETS ALL EMERGENCY EGRESS REQUIREMENTS.
- * ALL ELECTRICAL AND MECHANICAL EQUIPMENT, METER LOCATIONS, ETC. SHALL BE CONFIRMED BY MECHANICAL AND ELECTRICAL CONTRACTORS. CONTRACTORS SHALL COORDINATE WITH BUILDER PRIOR TO RELOCATION OF EQUIPMENT AND METERS.
- * ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS UNLESS NOTED OTHERWISE.
- * TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
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PLAN OPTIONS	
OPT FINISHED BASEMENT	814 SF

Elevation - F1

ISSUE DATE: 01/26/2026

REVISIONS

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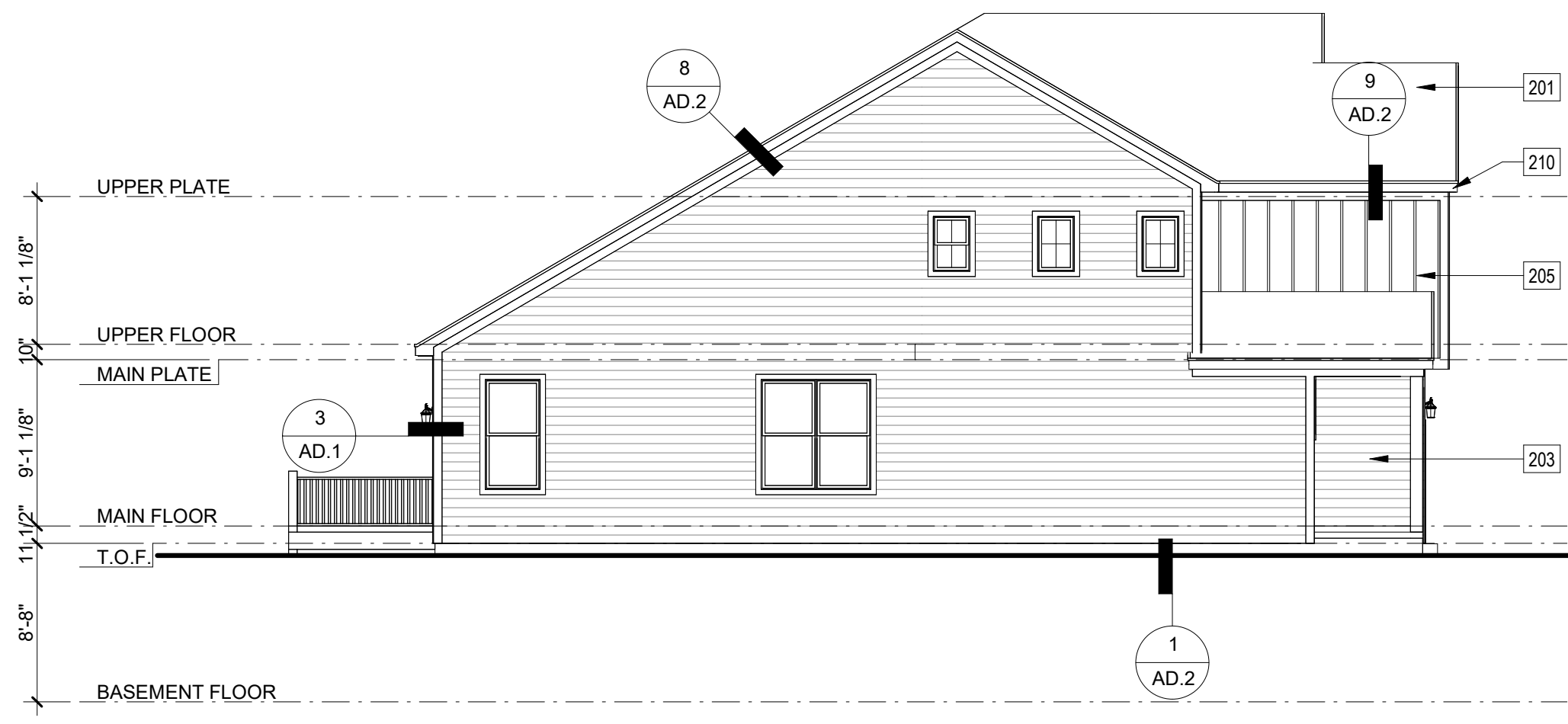


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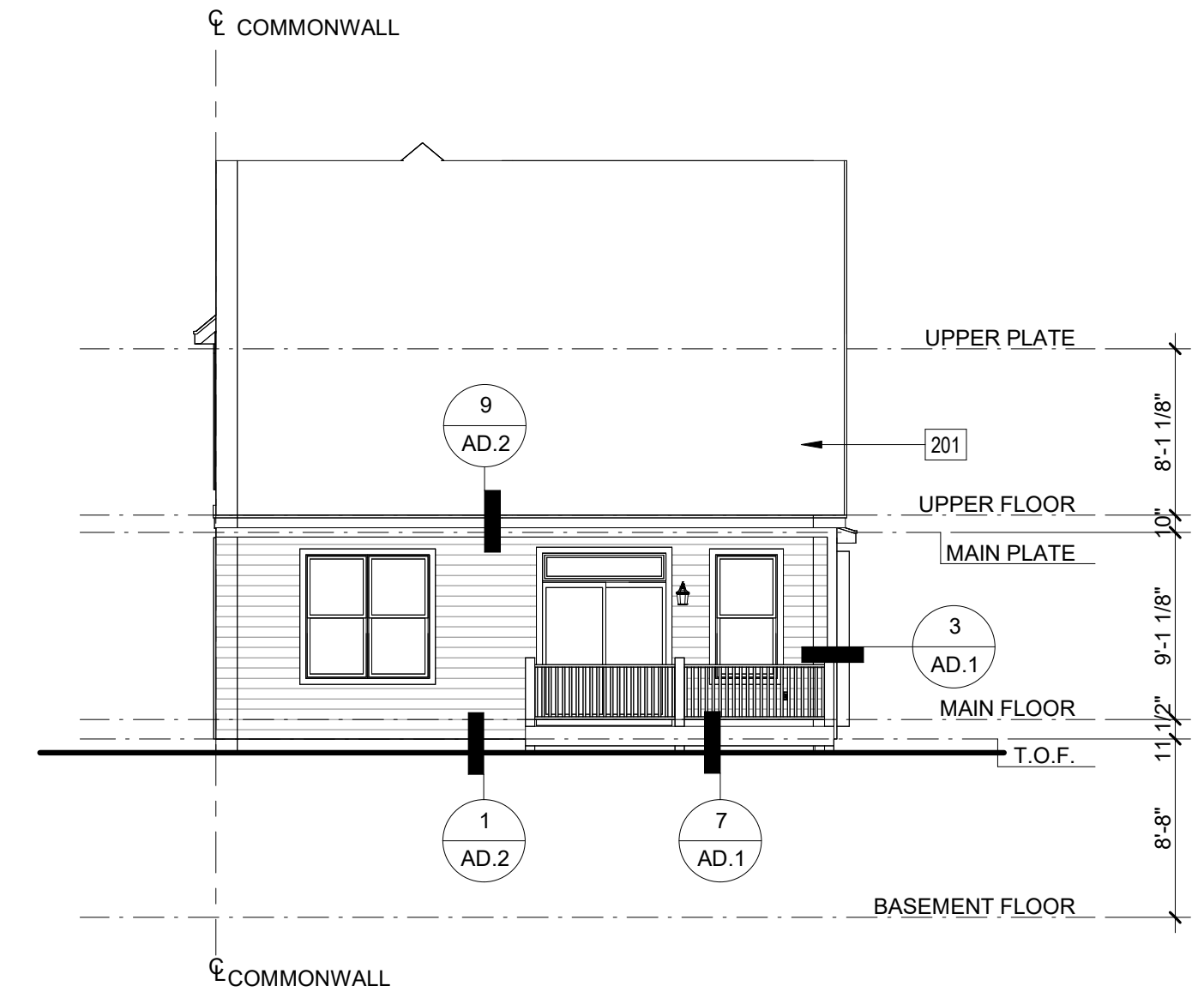
UPPER FLOOR PLAN-F1

CEDAR
E-A2.6F1



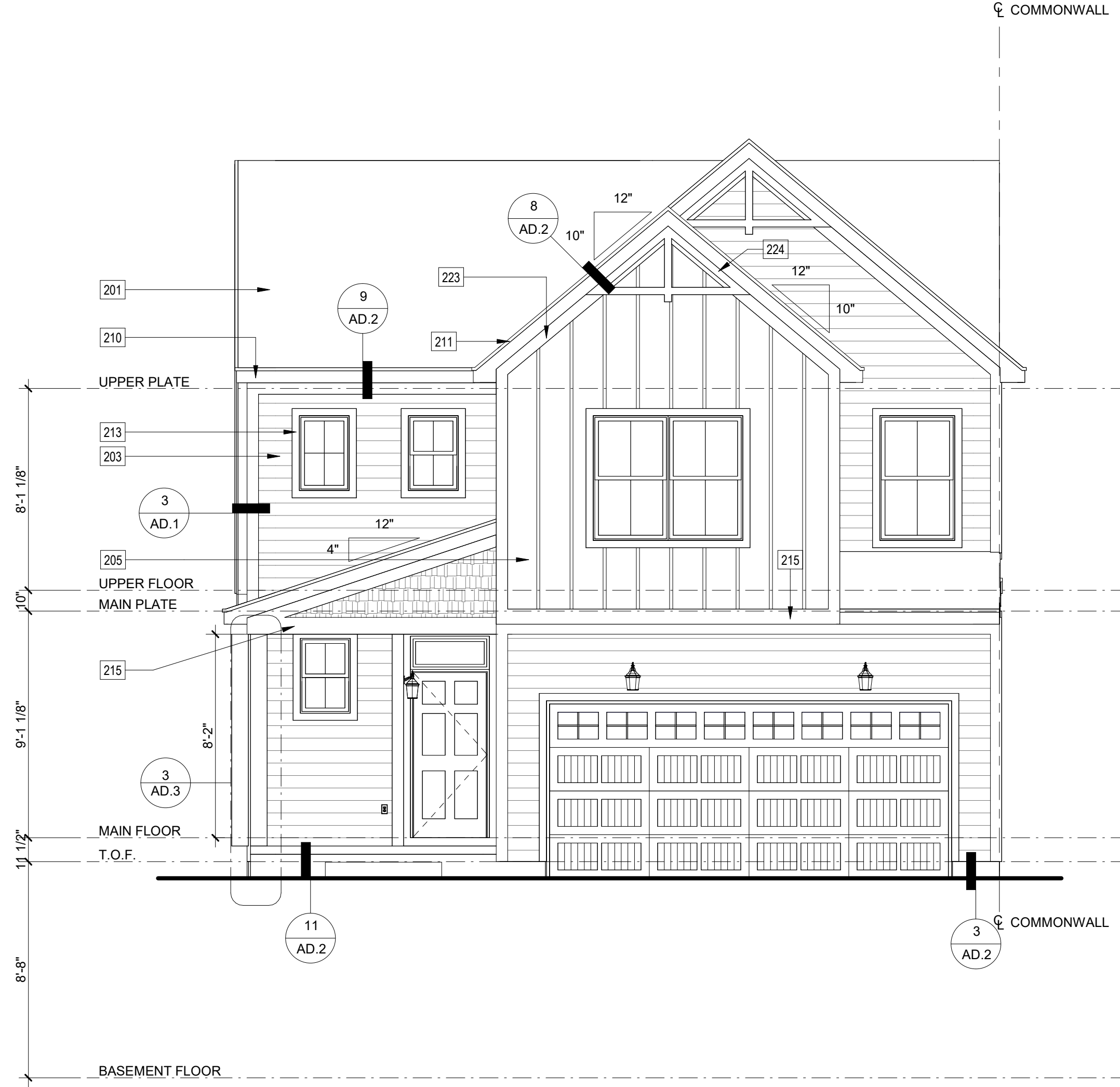
Left Elevation

SCALE: 1/8" = 1'-0" (22x34)



Rear Elevation

SCALE: 1/8" = 1'-0" (22x34)



Front Elevation

SCALE: 1/4" = 1'-0" (22x34)

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 - B1. **TYPICAL SIDING WALL CONSTRUCTION:** SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
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 - C. **TYPICAL FLOOR CONSTRUCTION:** FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
 - D. **CONCRETE SLAB CONSTRUCTION:** 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL EXTERIOR ELEVATION NOTES:

- *GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN.
- *PROVIDE ROOF AND SOFFIT VENTS AS SPECIFIED BY BUILDER.
- *PROVIDE GUTTERS AND DOWNSPOUTS AS SPECIFIED BY BUILDER.

ELEVATION KEYNOTES

- 201 ROOFING PER BUILDER SPEC.
- 203 6" LAP SIDING.
- 205 BOARD & BATTEN SIDING.
- 210 ALUMINUM WRAPPED 2x8 FASCIA.
- 211 ALUMINUM WRAPPED 2x8 RAKE.
- 213 5/4x4 TRIM.
- 215 5/4x8 TRIM.
- 218 5/4x TRIM.
- 223 5/4x6 FRIEZE TRIM.
- 224 BRACKET- FYPON BKT16X18X3 OR EQUAL

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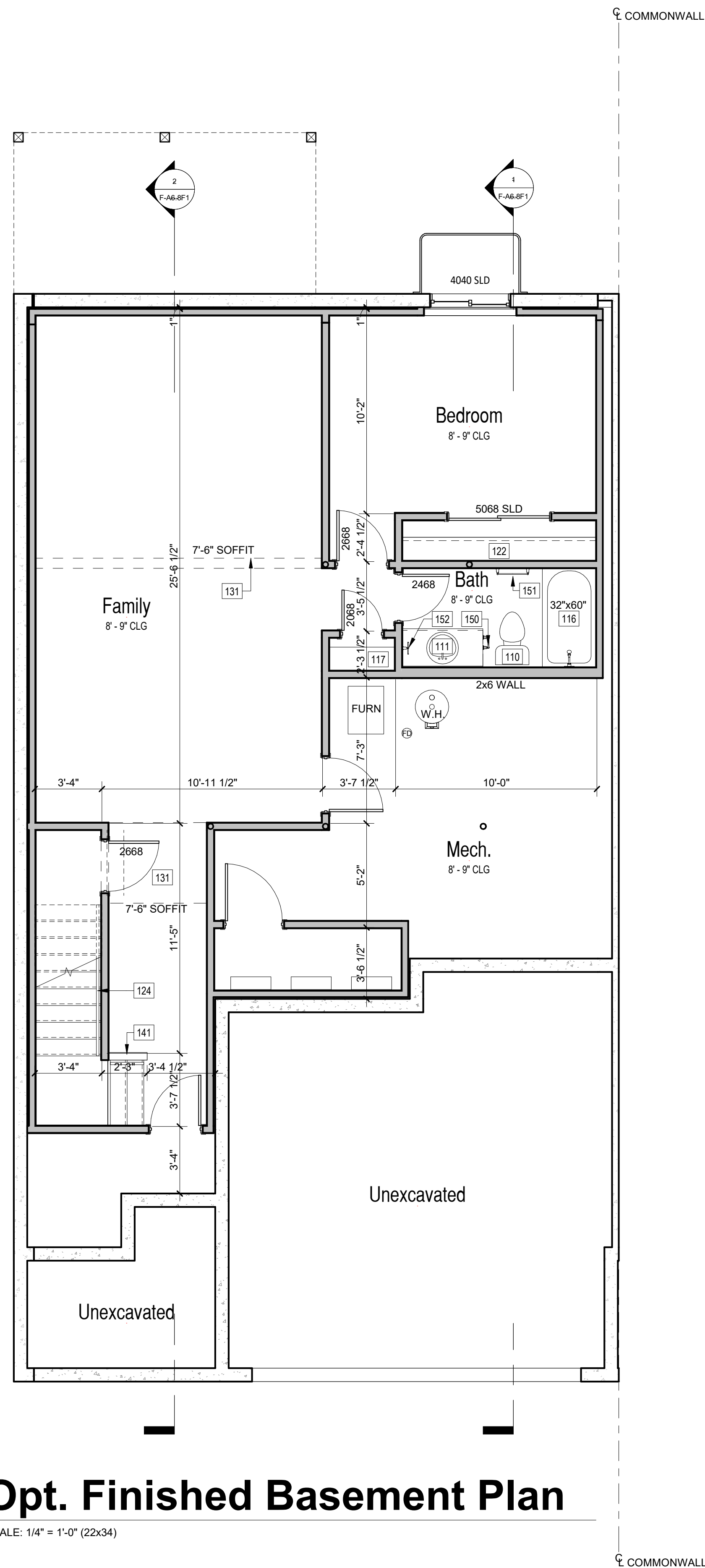
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EXTERIOR ELEVATIONS-F1

CEDAR
E-A3.6F1

Elevation - F1



Opt. Finished Basement Plan

SCALE: 1/4" = 1'-0" (22x34)

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ELECTRICAL NOTES:

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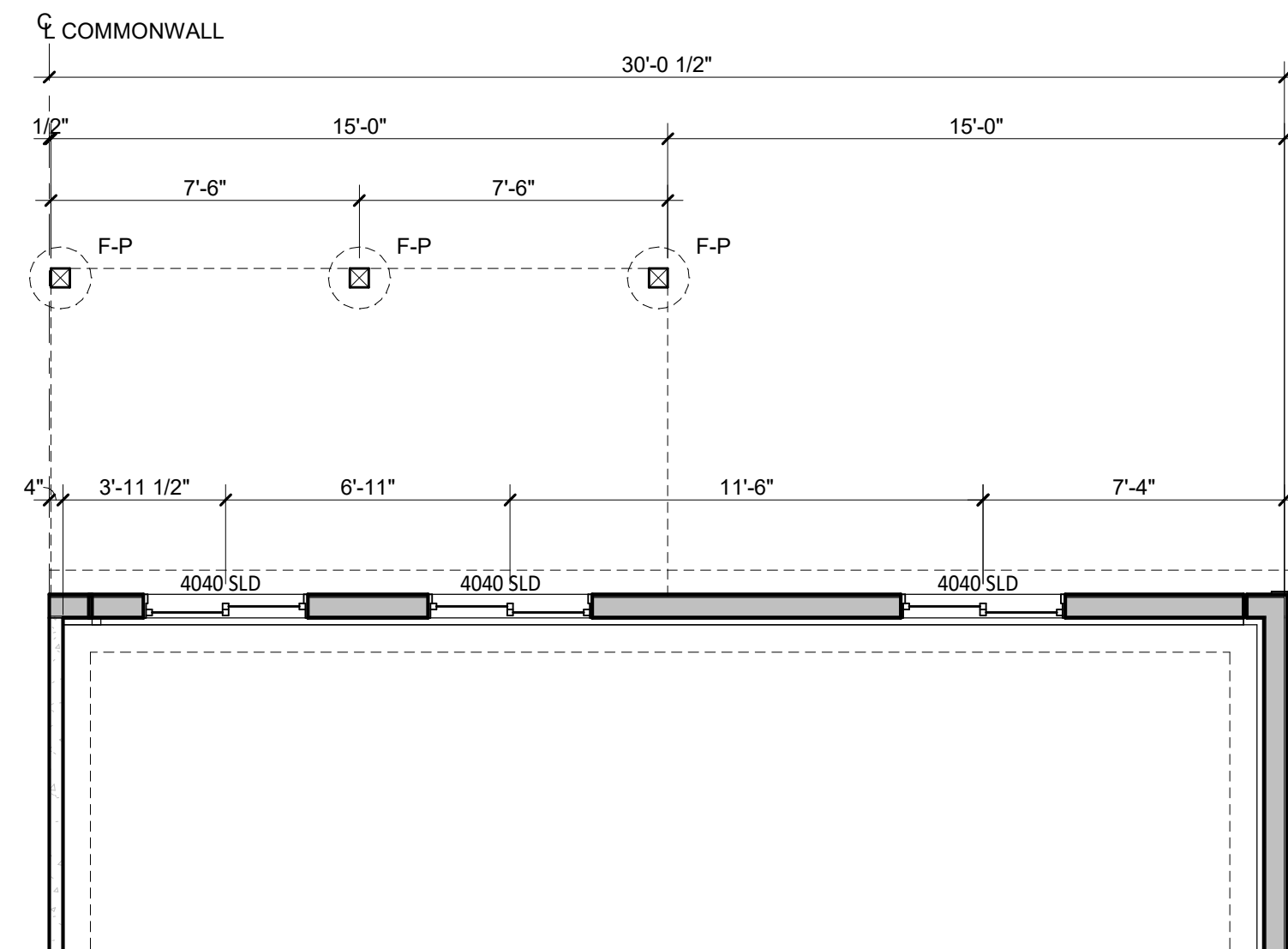
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FLOOR PLAN OPTIONS

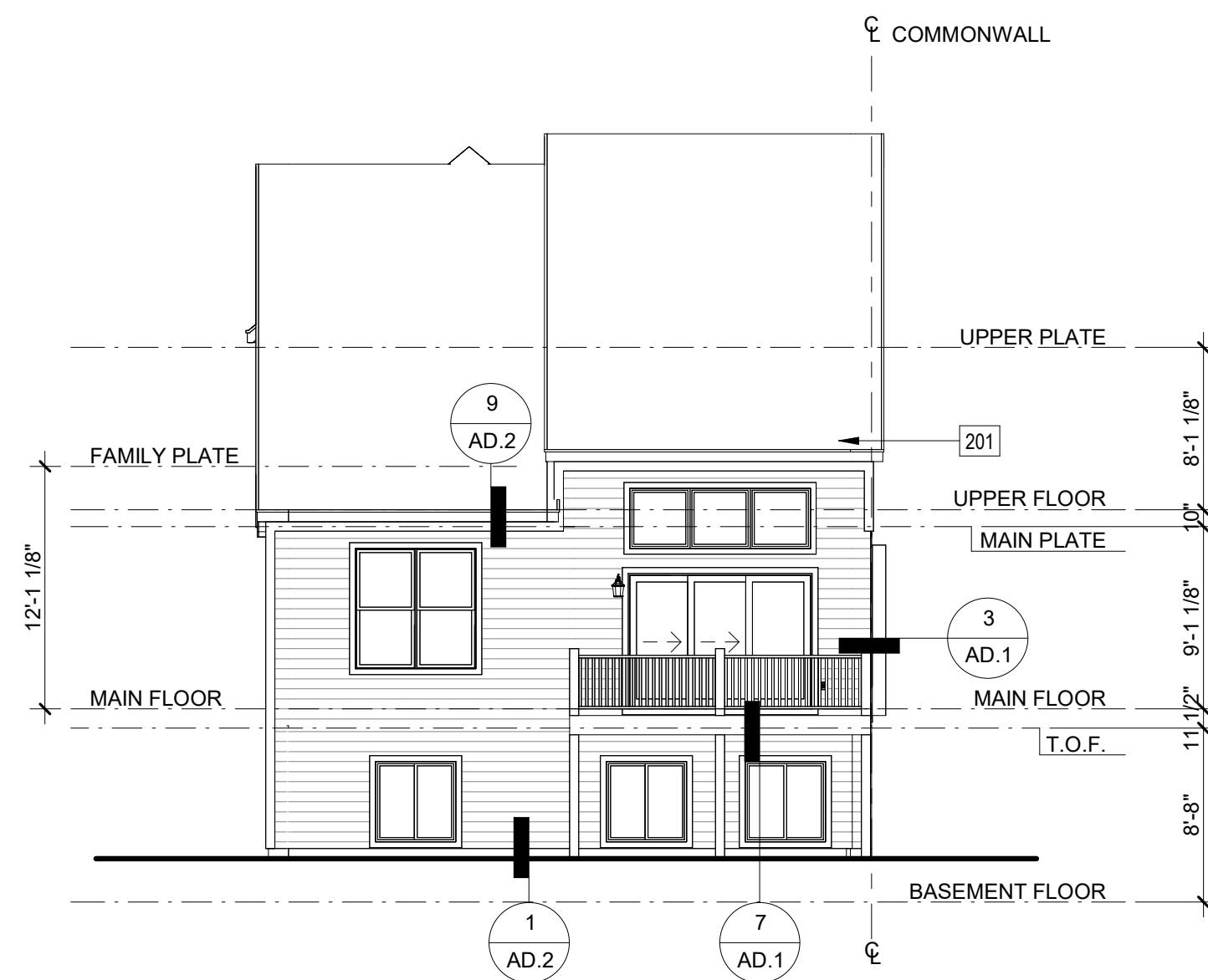
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Floor Plan Options



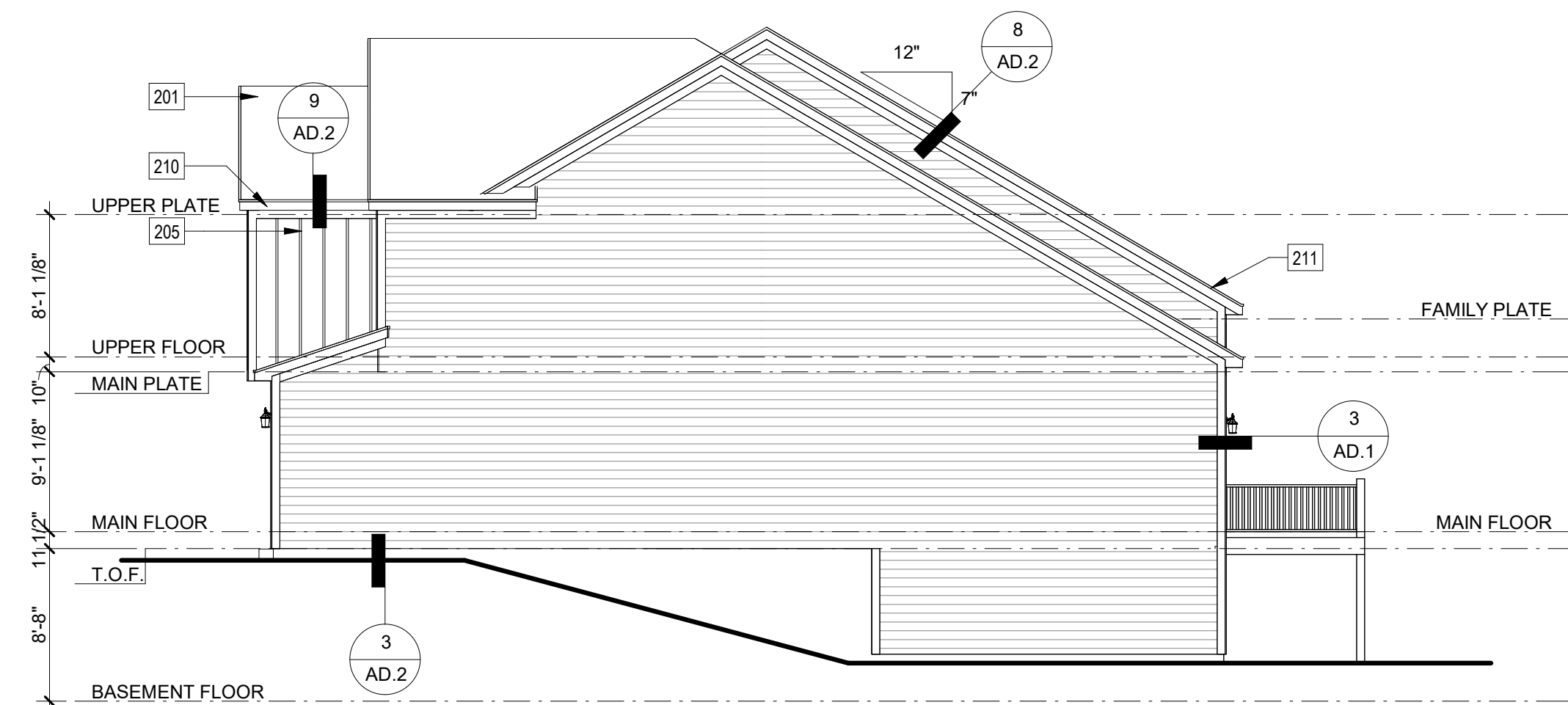
Foundation/ Basement Plan

SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation

SCALE: 1/8" = 1'-0" (22x34)



Right Elevation

SCALE: 1/8" = 1'-0" (22x34)

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FLOOR PLAN NOTES:

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ELEVATION NOTES:

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ELECTRICAL NOTES:

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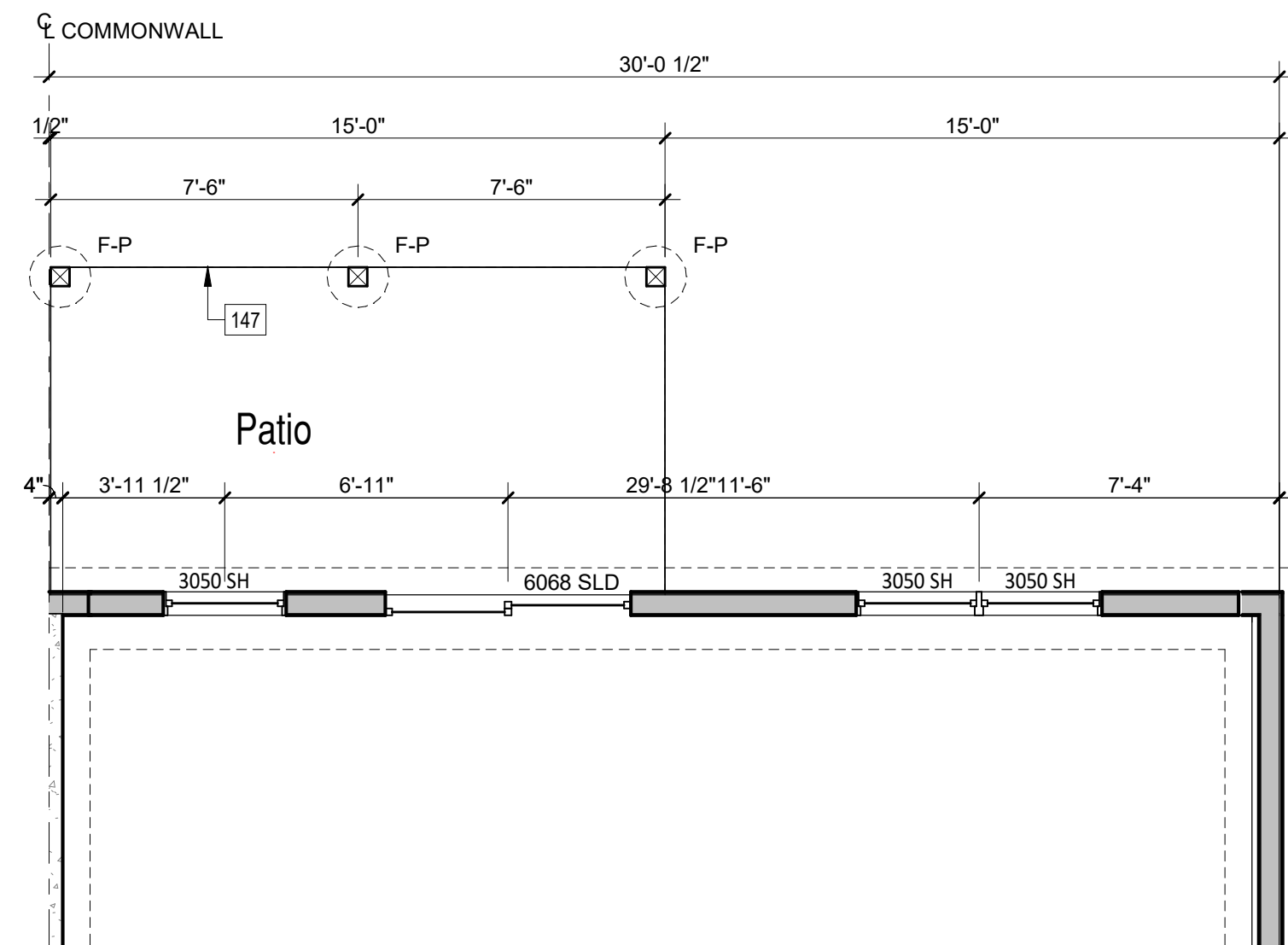
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FLOOR PLAN OPTIONS

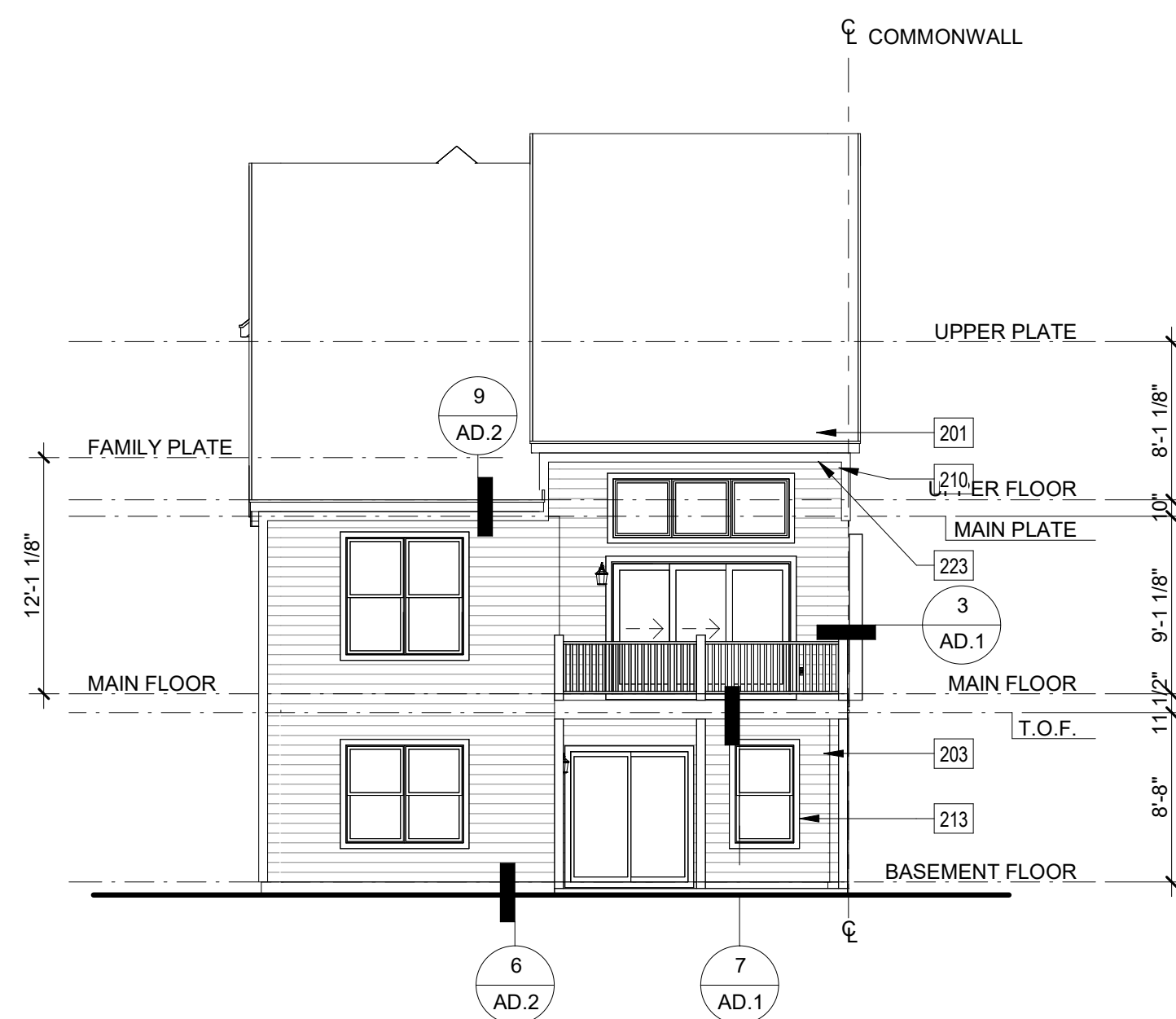
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Opt Daylight Basement Floor Plan Options



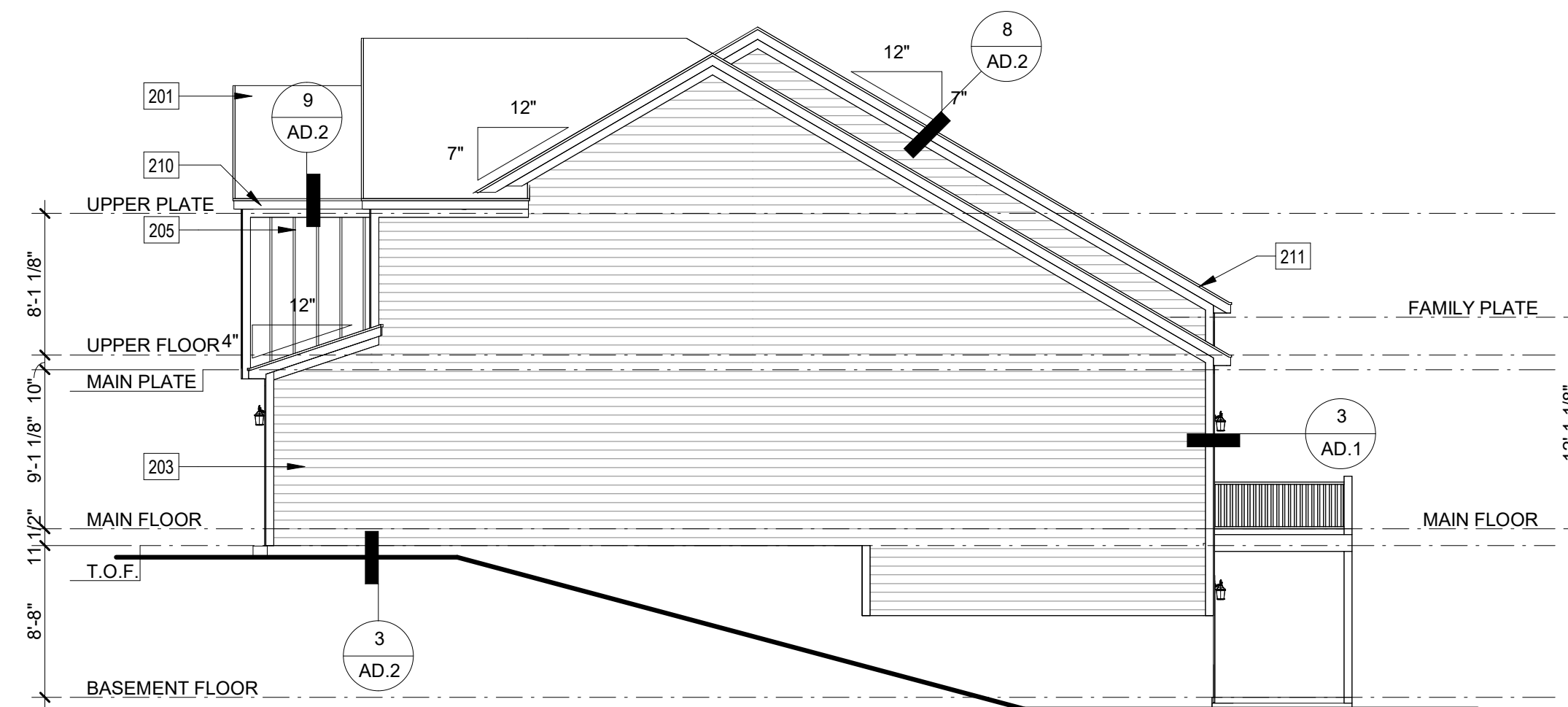
Foundation/ Basement Plan

SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation

SCALE: 1/8" = 1'-0" (22x34)



Right Elevation

SCALE: 1/8" = 1'-0" (22x34)

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FLOOR PLAN OPTIONS

CEDAR

E-A4.1.3

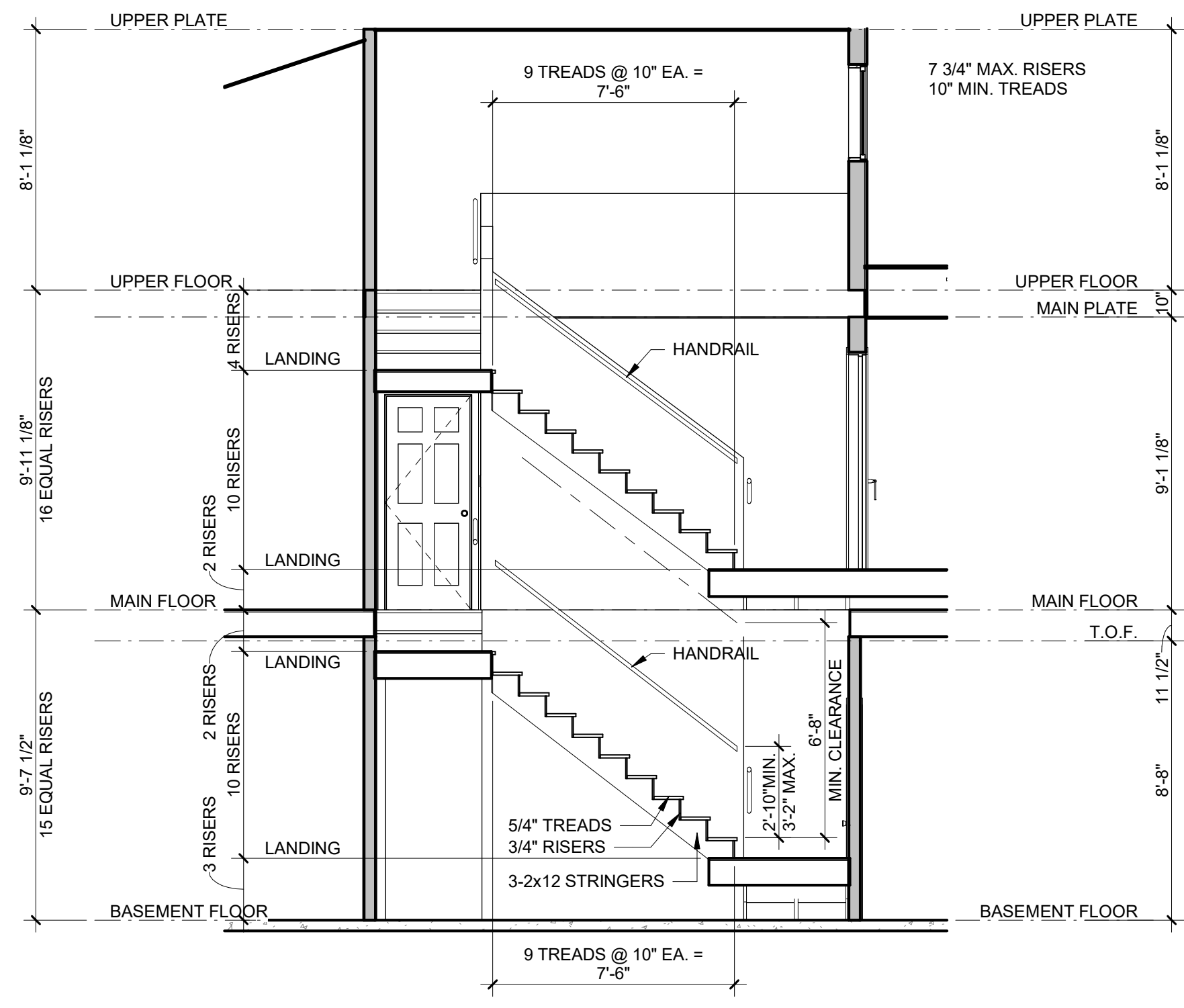
Opt Walkout Basement Floor Plan Options

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1 Stair Section
SCALE: 1/4" = 1'-0"

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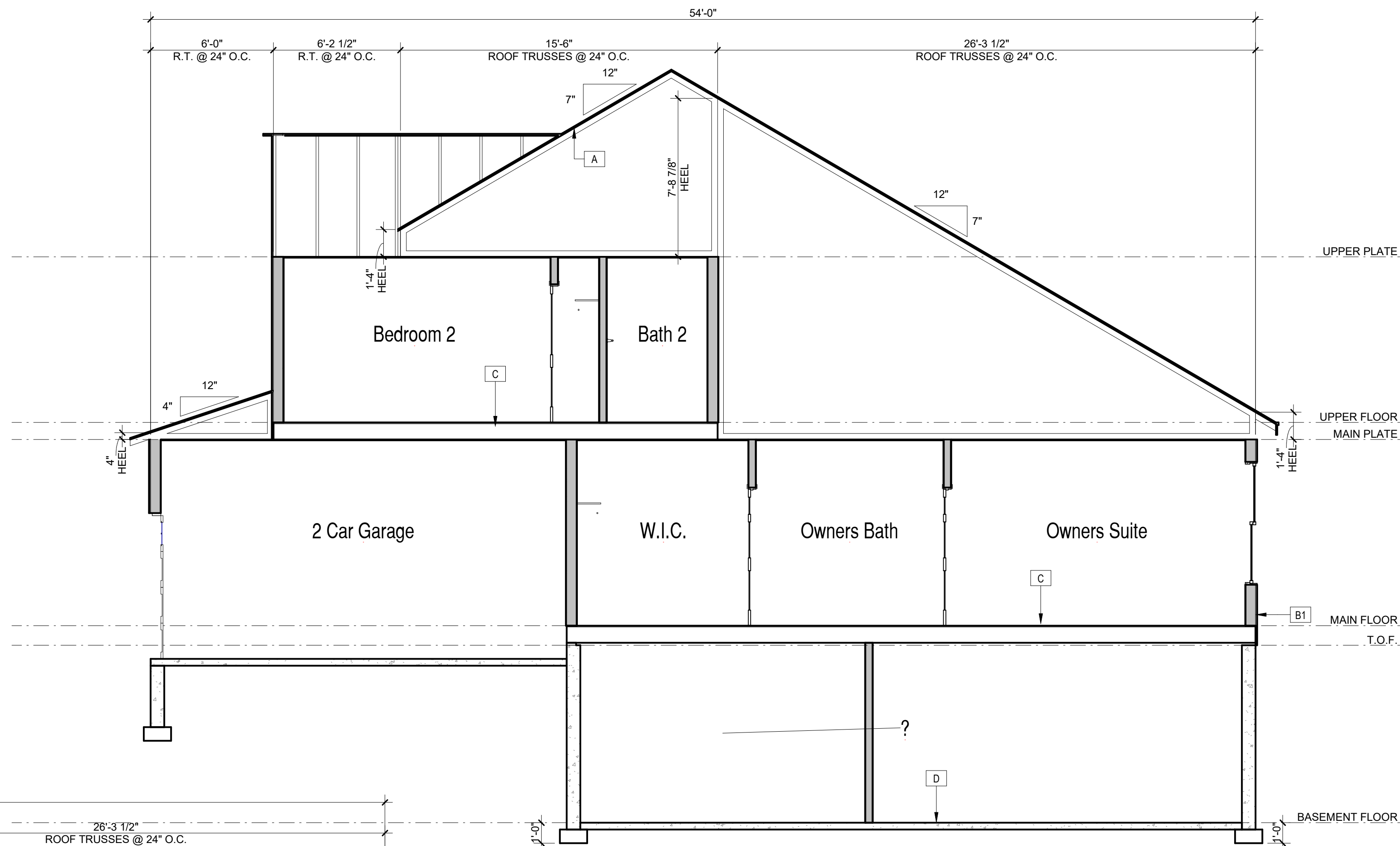


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STAIR SECTION

CEDAR
E-A5.1



1 Building Section
SCALE: 1/4" = 1'-0"

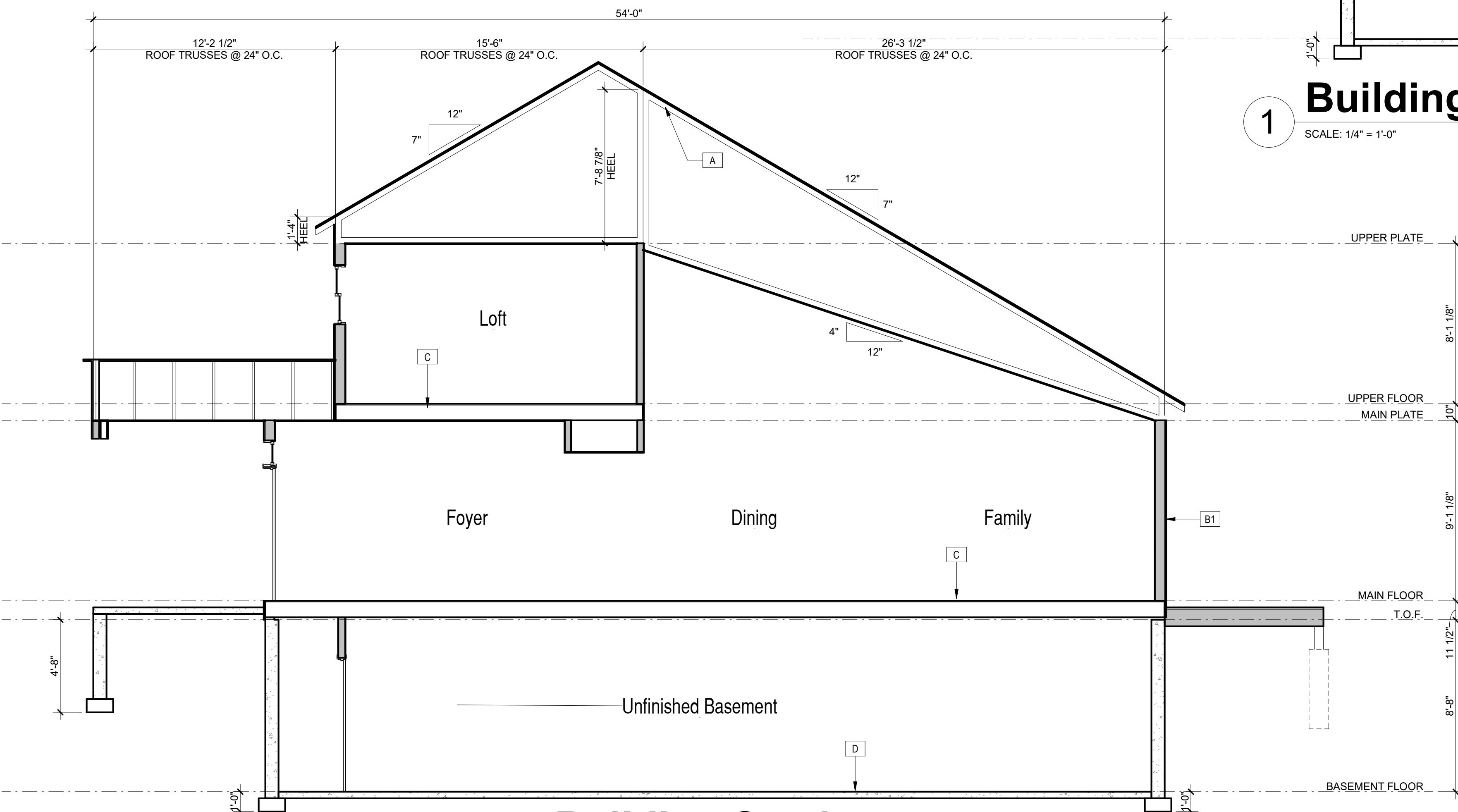
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2 Building Section
SCALE: 1/4" = 1'-0"

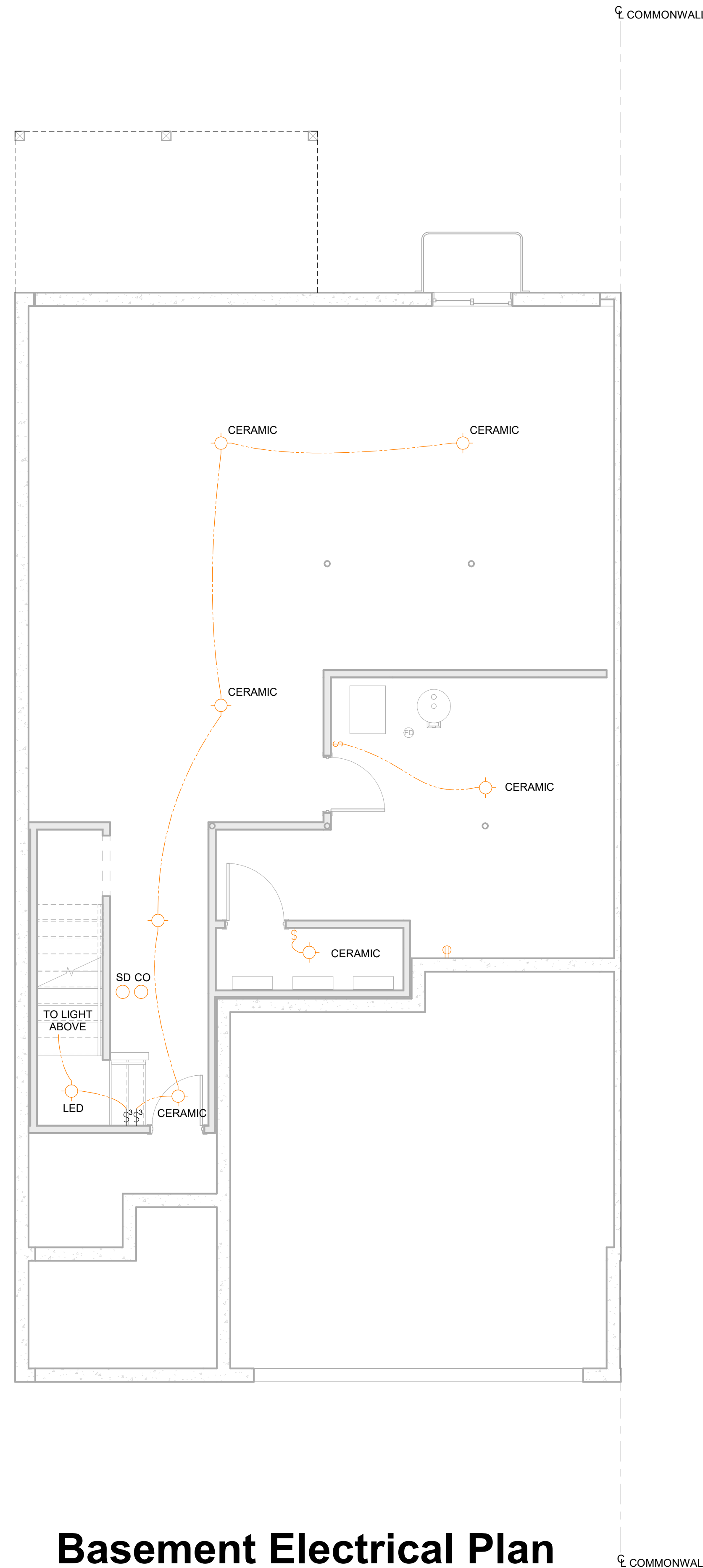
Elevation - F1

O'Brien Home Farm Duplex Downhill Lot
South Burlington, Vermont
O'Brien Brothers Agency

www.bsbdesign.com
4601 Westown Parkway, Suite 208
West Des Moines, Iowa 50266
515 273 3020

JOB NO: MS160442.00 PROJ MGR: JM
DRAWN: JM CHECKED: JM

BUILDING SECTIONS-F1
CEDAR
E-A6.6F1



Basement Electrical Plan

SCALE: 1/4" = 1'-0" (22x34)

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT 15 & 20 AMP RECEPTACLE OUTLETS INSTALLED IN ANY HABITAT SPACE SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER PER N.E.C. 210-12(A) & (B).

ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:

- SWITCHES OVER COUNTER.....48" TO CL
 - WALL OUTLETS OVER COUNTER.....48" TO CL
 - REMAINING SWITCHES.....48" TO CL
 - WALL OUTLETS.....12" TO CL
 - BATH VANITY BRACKET OUT (1" ABOVE TOP OF MIRROR).....1.2 80" TO CL
 - WATER SOFTENER AND SUMP OUTLETS.....48" TO CL
 - TELEPHONE OUTLETS.....12" TO CL
 - TELEVISION OUTLETS.....12" TO CL
 - EXTERIOR GFI OUTLETS.....12" TO CL
 - GARAGE GFI (ABOVE GARAGE FLOOR).....12" TO CL
 - BASEMENT WALL OUTLETS.....48" TO CL
 - FRONT DOOR COACH LIGHT (ABOVE GARAGE FLOOR).....72" TO CL
 - GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR).....84" TO CL
 - DINING AND BREAKFAST FIXTURE.....64" TO BOTTOM OF FIXTURE
 - FOYER AND STAIRWAY FIXTURE.....96" TO BOTTOM OF FIXTURE
 - THERMOSTAT.....54" TO CL
 - DOORBELL CHIMES.....84" TO CL
 - DOORBELL BUTTON.....LEVEL W/ DOOR HANDLE
 - KITCHEN HOOD FAN "WHIP".....66" TO CL
 - KITCHEN WALL HUNG MICROWAVE OUTLET.....76" TO CL
 - KITCHEN DISHWASHER RECEPTACLE UNDER SINK.....48" TO CL
 - KITCHEN RANGE.....24" TO CL
 - KITCHEN REFRIGERATOR.....48" TO CL
 - WASHER/DRYER OUTLET.....48" TO CL
- CL = CENTERLINE
1 = FIELD VERIFY
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

ELECTRICAL KEY:

- SINGLE POLE OUTLET
- DUPLX CONVENIENCE OUTLET
- DUPLX OUTLET ABOVE COUNTER
- WP WEATHERPROOF DUPLX OUTLET
- GFI GROUND-FAULT CIRCUIT-INTERRUPTER DUPLX OUTLET
- HALF-SWITCHED DUPLX OUTLET
- ▲ SPECIAL POURPOSE OUTLET/JUNCTION BOX
- USB USB CHARGER/TAMPER-RESISTANT DUPLX OUTLET
- DUPLX OUTLET IN FLOOR
- 220V 220 VOLT OUTLET
- OVERHEAD DUPLX
- WALL SWITCH
- 3 THREE-WAY SWITCH
- 4 FOUR-WAY SWITCH
- D DIMMER SWITCH
- REINFORCED JUNCTION BOX
- CEILING MOUNTED LIGHT FIXTURE
- SF SEMI FLUSH CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- WP RECESSED LIGHT FIXTURE (WEATHERPROOF)
- FLUR RECESSED FLOURESCENT LIGHT FIXTURE (WEATHERPROOF)
- VP RECESSED LIGHT FIXTURE (VAPOR-PROOF)
- VP/FLUR RECESSED FLOURESCENT LIGHT FIXTURE (VAPOR-PROOF)
- PNDT CEILING MOUNTED PENDANT LIGHT FIXTURE
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- LED RECESSED LED LIGHT FIXTURE
- EB RECESSED ADJUSTABLE EYEBALL LED LIGHT FIXTURE
- PC LED LIGHT FIXTURE WITH PULL CHAIN
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- CHIMES
- PUSH BUTTON SWITCH
- SD SMOKE DETECTOR
- HD HEAT DETECTOR
- CO CO DETECTOR
- T THERMOSTAT
- Ⓢ SPEAKER (PROVIDE ADEQUATE SUPPORT)
- TV TELEVISION
- M ELECTRIC METER
- ELECTRIC PANEL
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- COMPUTER
- CEILING FAN WITH LED LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)

O'Brien Home Farm Duplex Downhill Lot

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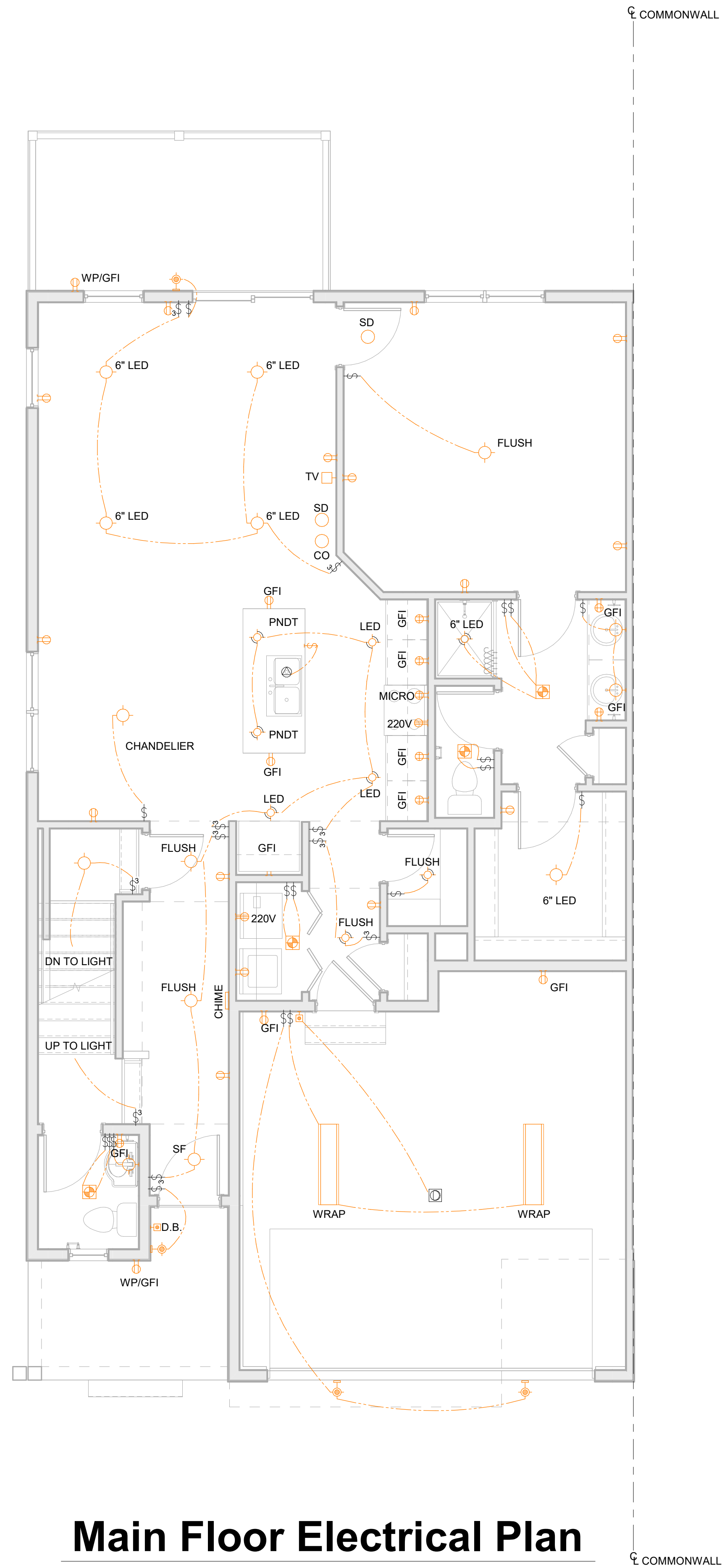
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BASEMENT ELECTRICAL PLAN-F1

CEDAR

E-E0.6F1



Main Floor Electrical Plan

SCALE: 1/4" = 1'-0" (22x34)

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
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- WALL OUTLETS OVER COUNTER..... 48" TO CL
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- WATER SOFTENER AND SUMP OUTLETS..... 48" TO CL
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- GARAGE GFI (ABOVE GARAGE FLOOR)..... 12" TO CL
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ELECTRICAL KEY:

- SINGLE POLE OUTLET
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET/JUNCTION BOX
- USB CHARGER/TAMPER-RESISTANT DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220V 220 VOLT OUTLET
- OVERHEAD DUPLEX
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- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- REINFORCED JUNCTION BOX
- CEILING MOUNTED LIGHT FIXTURE
- SEMI FLUSH CEILING MOUNTED LIGHT FIXTURE
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- CEILING MOUNTED PENDANT LIGHT FIXTURE
- CEILING MOUNTED MINI-PENDANT LIGHT FIXTURE
- CEILING MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LED LIGHT FIXTURE
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- RECESSED ADJUSTABLE EYEBALL LED LIGHT FIXTURE
- LED LIGHT FIXTURE WITH PULL CHAIN
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- CEILING FAN WITH LED LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)

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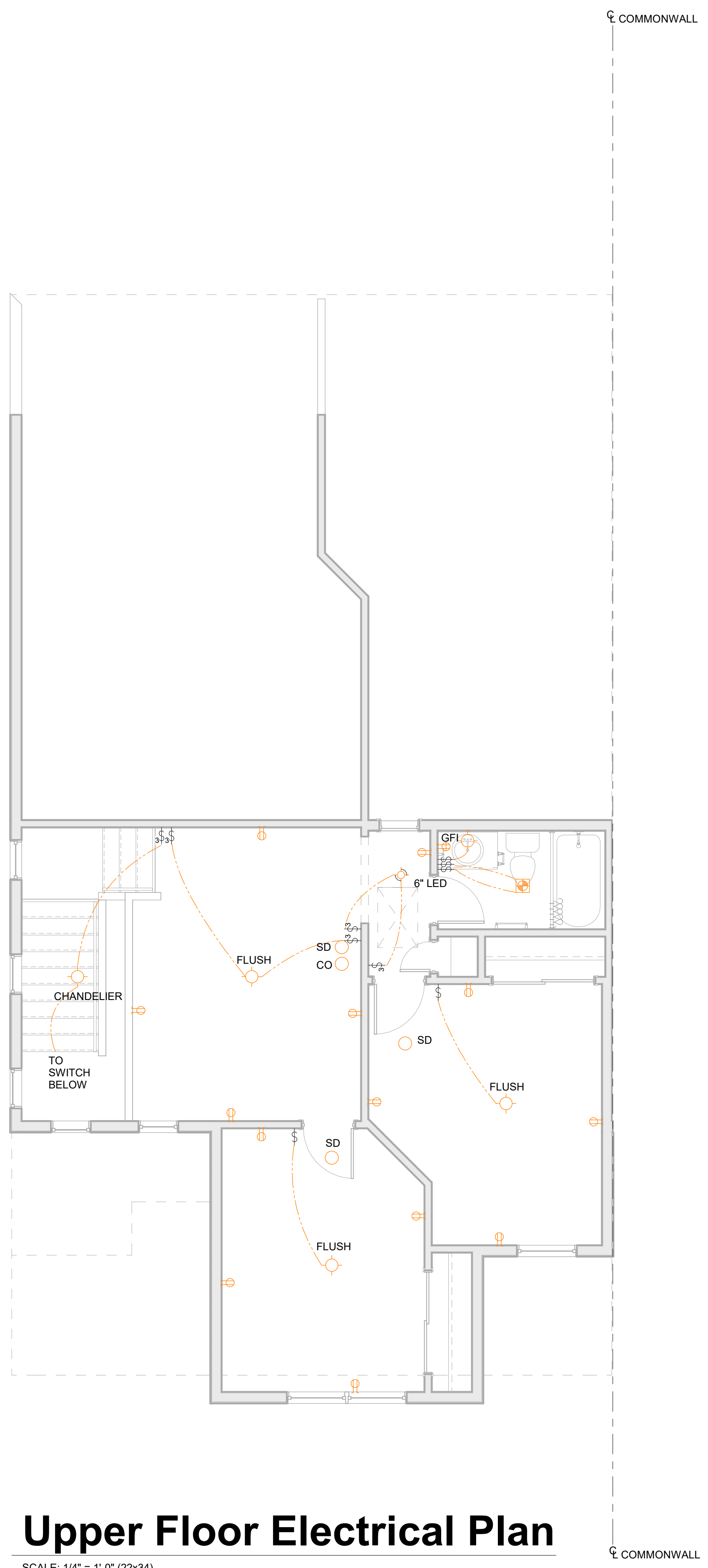
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MAIN FLOOR ELECTRICAL PLAN-F1
 CEDAR
E-E1.6F1

Elevation - F1



Upper Floor Electrical Plan
SCALE: 1/4" = 1'-0" (22x34)

ELECTRICAL NOTES:

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ELECTRICAL DEVICES:

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CL = CENTERLINE
1 = FIELD VERIFY
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ELECTRICAL KEY:

- SINGLE POLE OUTLET
- ⊕ DUPLEX CONVENIENCE OUTLET
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- ⊕ WP WEATHERPROOF DUPLEX OUTLET
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Elevation - F1

ISSUE DATE: 01/26/2026

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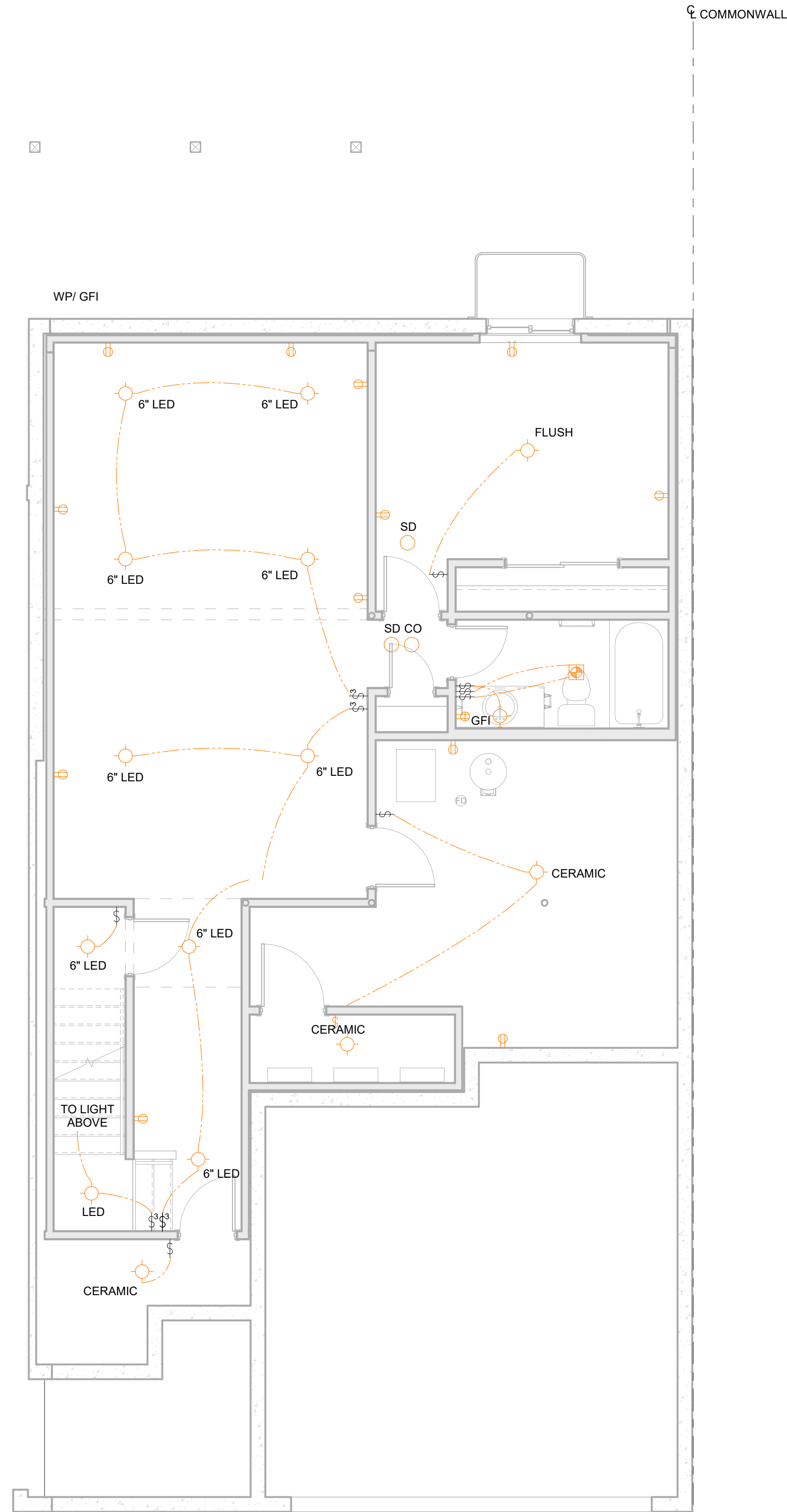
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UPPER FLOOR ELECTRICAL PLAN-F1
CEDAR
E-E2.6F1



Opt. Finished Basement Electrical Plan

SCALE: 1/4" = 1'-0" (22x34)

COMMONWALL

Floor Plan Electrical Options

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
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| WALL OUTLETS | 12" TO CL |
| BATH VANITY BRACKET OUT (1" ABOVE TOP OF MIRROR) | 80" TO CL |
| WATER SOT FENER AND SUMP OUTLETS | 48" TO CL |
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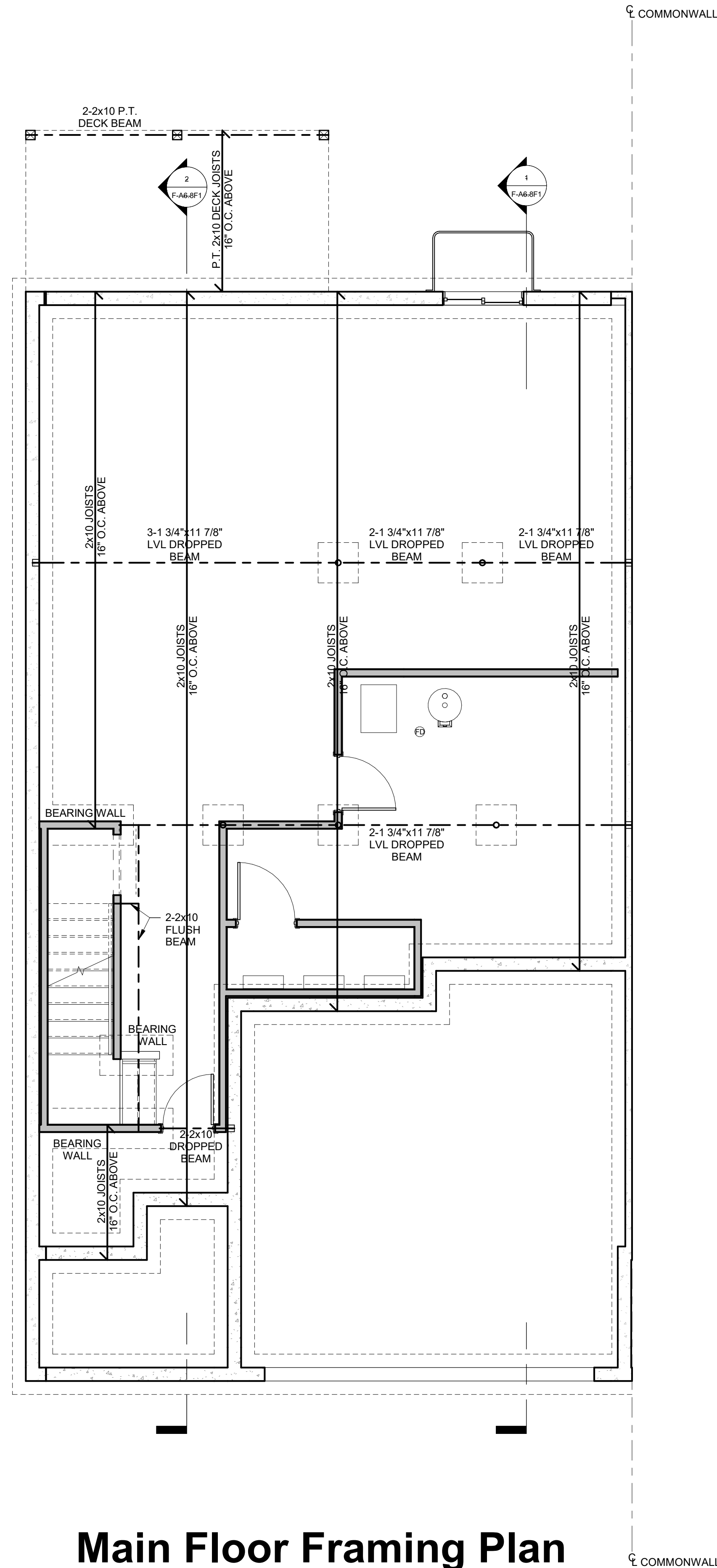
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FLOOR PLAN ELECTRICAL OPTIONS
 CEDAR
E-E4.1.1



Main Floor Framing Plan

SCALE: 1/4" = 1'-0" (22x34)

CONSTRUCTION ASSEMBLIES:

- T THE FOLLOWING KEYNOTES REFERENCE THE SYMBOLS AS SHOWN ON PLANS
- A. **ROOF CONSTRUCTION:**
COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
 - B1. **TYPICAL SIDING WALL CONSTRUCTION:**
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - B2. **TYPICAL STONE VENEER WALL CONSTRUCTION:**
ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - C. **TYPICAL FLOOR CONSTRUCTION:**
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
 - D. **CONCRETE SLAB CONSTRUCTION:**
4" CONCRETE SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FRAMING PLAN NOTES:

- * PROVIDE MINIMUM 3-2x10 HEADER OVER DOORS & WINDOWS UNLESS NOTED OTHERWISE.
- * PROVIDE THE FOLLOWING POSTS AT ENDS OF HEADERS (UNLESS NOTED OTHERWISE):
** OPENINGS 4'-0" OR LESS:
1 JACK STUD & 1 KING STUD
** OPENINGS GREATER THAN 4'-0":
2 JACK STUDS & 1 KING STUD
- * PROVIDE MINIMUM 3-2x4 POST AT 2x4 WALLS OR 2-2x6 POST AT 2x6 WALLS AT ENDS OF GIRDER TRUSSES AND BEAMS UNLESS NOTED OTHERWISE.
- * SOLID BLOCK IN FLOOR FRAMING BENEATH ALL POSTS TO FOUNDATION BELOW OR TO POST IN WALL BELOW.
- * ANCHOR ROOF TRUSSES AND RAFTERS WITH SIMPSON H2.5 ANCHORS, TYPICAL.
- * SUPPORT OVERFRAMING ON FRAMING MEMBERS OR PROVIDE SOLID BLOCKING.
- * PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- * TRUSS MANUFACTURER SHALL SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.

ISSUE DATE: 01/26/2026

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O'Brien Home Farm Duplex Downhill Lot
South Burlington, Vermont
O'Brien Brothers Agency



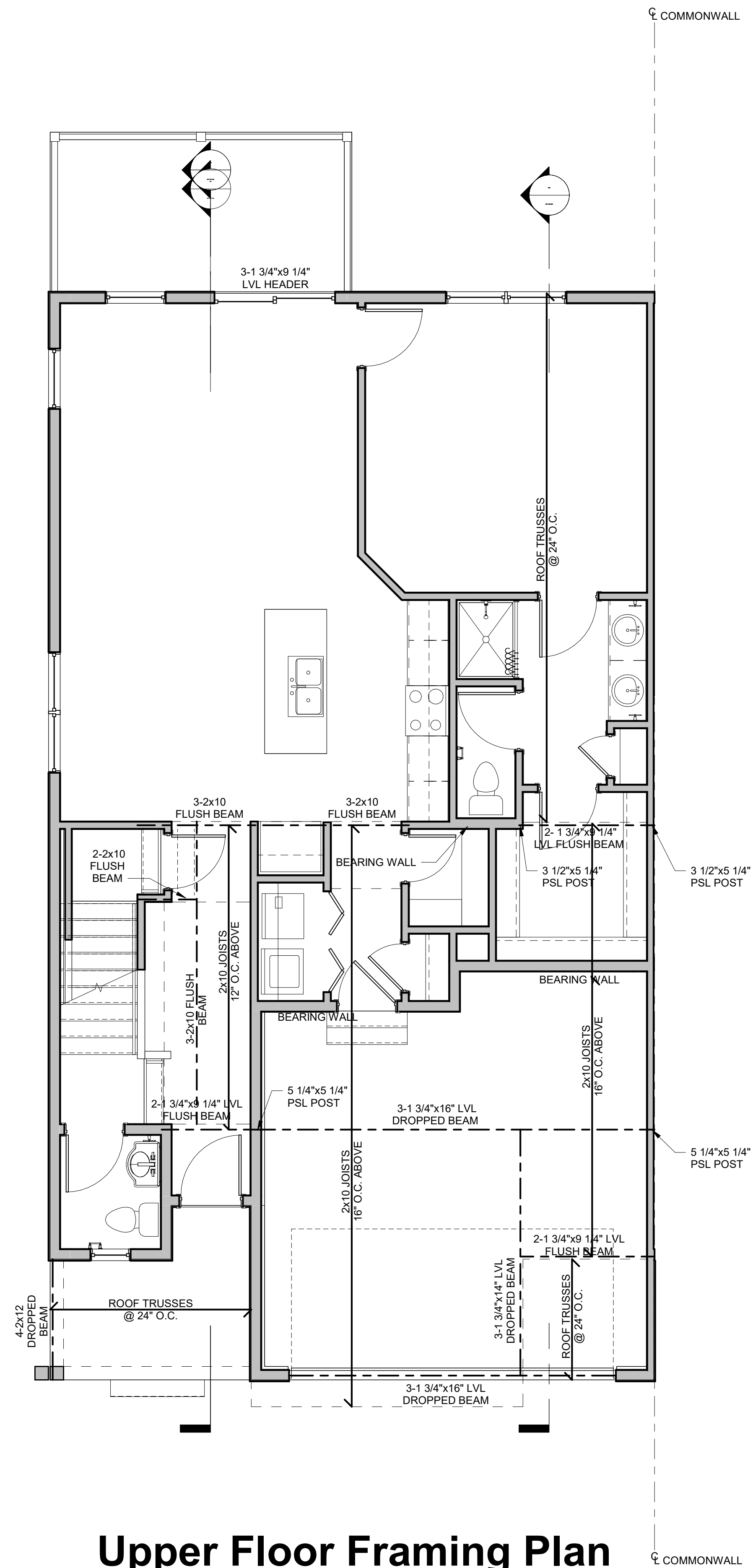
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MAIN FLOOR FRAMING
PLAN-F1

CEDAR
E-S0.6F1

Elevation - F1



Upper Floor Framing Plan

SCALE: 1/4" = 1'-0" (22x34)

CONSTRUCTION ASSEMBLIES:

- T** THE FOLLOWING KEYNOTES REFERENCE THE SYMBOLS AS SHOWN ON PLANS
- A. **ROOF CONSTRUCTION:** COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS). CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
 - B1. **TYPICAL SIDING WALL CONSTRUCTION:** SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - B2. **TYPICAL STONE VENEER WALL CONSTRUCTION:** ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - C. **TYPICAL FLOOR CONSTRUCTION:** FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
 - D. **CONCRETE SLAB CONSTRUCTION:** 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FRAMING PLAN NOTES:

- * PROVIDE MINIMUM 3-2x10 HEADER OVER DOORS & WINDOWS UNLESS NOTED OTHERWISE.
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 - ** OPENINGS 4'-0" OR LESS: 1 JACK STUD & 1 KING STUD
 - ** OPENINGS GREATER THAN 4'-0": 2 JACK STUDS & 1 KING STUD
- * PROVIDE MINIMUM 3-2x4 POST AT 2x4 WALLS OR 2-2x6 POST AT 2x6 WALLS AT ENDS OF GIRDER TRUSSES AND BEAMS UNLESS NOTED OTHERWISE.
- * SOLID BLOCK IN FLOOR FRAMING BENEATH ALL POSTS TO FOUNDATION BELOW OR TO POST IN WALL BELOW.
- * ANCHOR ROOF TRUSSES AND RAFTERS WITH SIMPSON H2.5 ANCHORS, TYPICAL.
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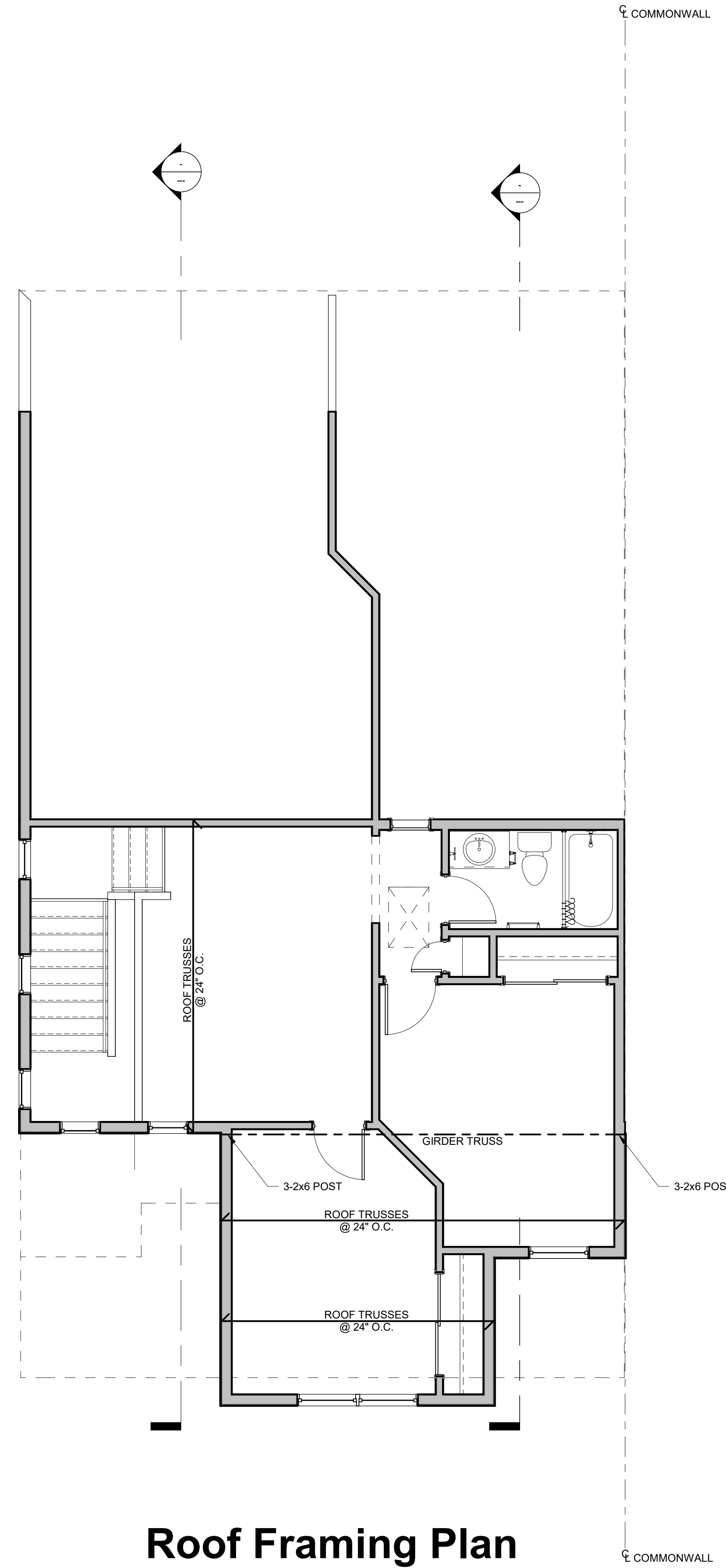
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UPPER FLOOR FRAMING
 PLAN-F1

CEDAR

E-S1.6F1

Elevation - F1



Roof Framing Plan

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ROOF FRAMING PLAN-F1

CEDAR

E-S2.6F1

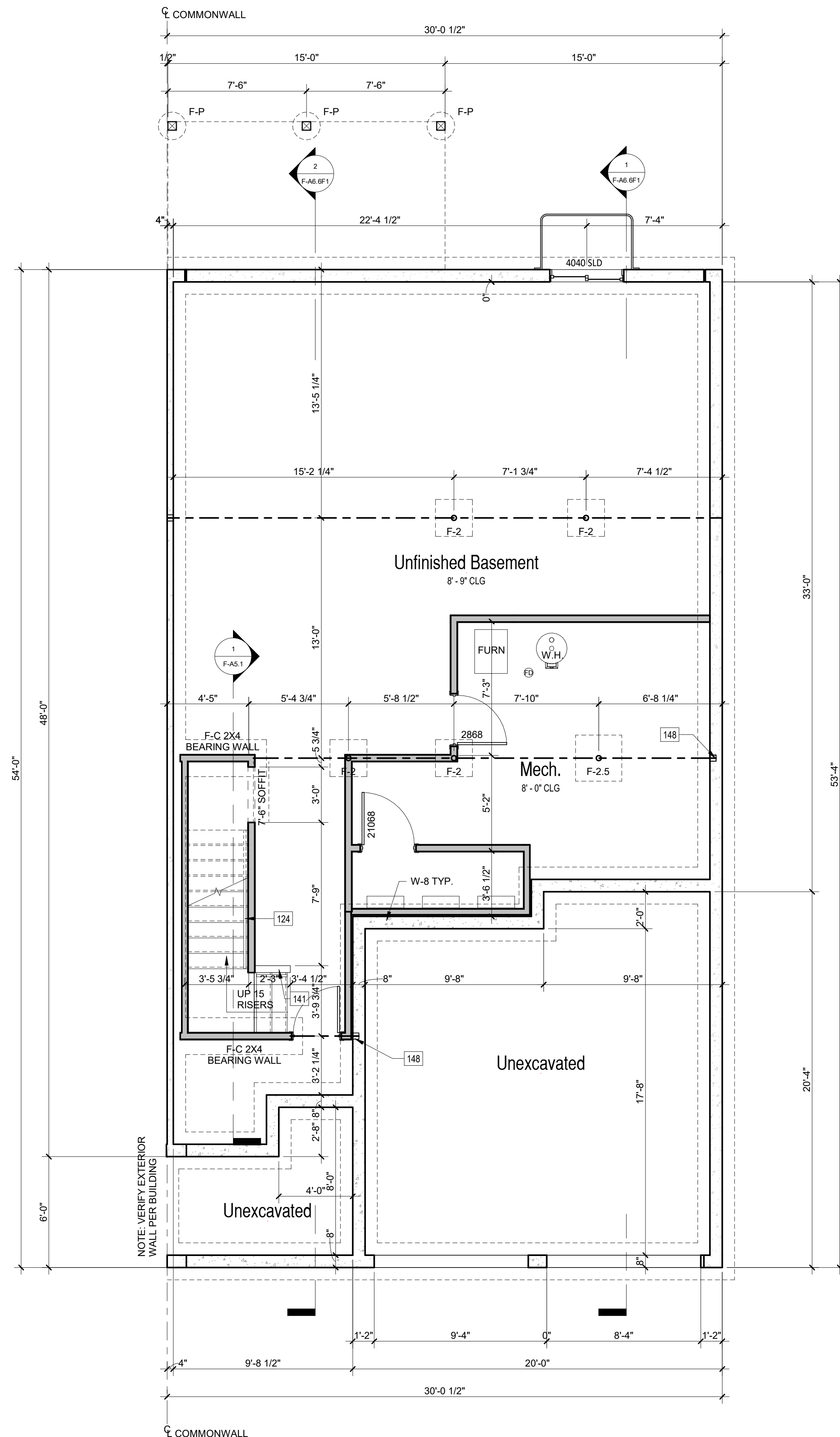
Elevation - F1

FOOTING SCHEDULE					
SYMBOL	TYPE	SIZE	REINFORCING	COLUMN	COMMENTS
F-P	PIER (EXTERIOR)	12" SONOTUBE W/ BELL BOTTOM	NA	6x6 TREATED POST	48" MIN. BELOW FINISH GRADE
F-C	CONTINUOUS FOOTING	2'-0" WIDE x 0'-8" DEEP	3-#4's CONTINUOUS	NA	
F-2	PAD FOOTING (INTERIOR)	2'-0" x 2'-0" x 1'-0" DEEP	NA	3 1/2" LALLY COLUMN UNLESS NOTED OTHERWISE*	
F-2.5	PAD FOOTING (INTERIOR)	2'-6" x 2'-6" x 1'-0" DEEP	NA	3 1/2" LALLY COLUMN UNLESS NOTED OTHERWISE*	

*NOTE: LALLY COLUMNS SHALL HAVE THE ALLOWABLE MINIMUM LOAD CAPACITY OUTLINED IN THE GENERAL NOTES. SEE GENERAL NOTES FOR BOTTOM AND TOP BEARING PLATES.

FOUNDATION WALL SCHEDULE				
SYMBOL	WALL THICKNESS	WALL HEIGHT	REINFORCING	*CONTINUOUS FOOTING
W-8	8"	9'-0"	2 #4 BARS TOP & BOTTOM	1'-4" x 0'-8" W/ 2-#4'S CONTINUOUS

*IF FOOTING IS BEARING ON EARTH BUILDER TO VERIFY SOIL PRESSURE AND USE 2'-0" x 0'-8" CONTINUOUS FOOTING



Square Footages-F1	
	ELEVATION F1
MAIN FLOOR LIVING	1168 SF
UPPER FLOOR LIVING	598 SF
TOTAL LIVING	1766 SF
PLAN OPTIONS	
OPT FINISHED BASEMENT	814 SF

FLOOR PLAN KEYNOTES

- 101 SINK W/ GARBAGE DISPOSAL.
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- 103 REFRIGERATOR.
- 104 RANGE W/ HOOD/MICRO.
- 108 BASE CABINETS.
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- 133 LINE OF FRAMING BELOW.
- 137 42" HIGH EXTERIOR GUARDRAIL W/ BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
- 141 2x4 HALF WALL @ 42" A.F.F. W/ WOOD CAP.
- 147 LINE OF DECK ABOVE.
- 148 BEAM POCKET.
- 150 TOILET PAPER HOLDER 19" MIN A.F.F.
- 151 TOWEL BAR 48" A.F.F.
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4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL BASEMENT PLAN NOTES:

- ALL UNDIMENSIONED PARTITIONS (1") ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- IF MAIN FLOOR FRAMING IS TO BE INSTALLED BEFORE CONCRETE FLOOR, PROVIDE THE FOLLOWING:
** AT PAD FOOTINGS: PROVIDE 8" CONCRETE PEDESTAL FLUSH WITH CONCRETE FLOOR FOR ATTACHMENT OF POST BASE
** AT CONTINUOUS FOOTINGS UNDER FRAMING BEARING WALLS, PROVIDE 6" WIDE CONTINUOUS CONCRETE STEM. TOP OF STEM FLUSH WITH CONCRETE FLOOR & CENTERED ON FOOTING.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS MEETS ALL EMERGENCY EGRESS REQUIREMENTS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT, METER LOCATIONS, ETC SHALL BE CONFIRMED BY MECHANICAL AND ELECTRICAL CONTRACTORS. CONTRACTORS SHALL COORDINATE WITH BUILDER PRIOR TO RELOCATION OF EQUIPMENT AND METERS.
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS UNLESS NOTED OTHERWISE.
- TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
- FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND DETAILS.
- TYPICAL WINDOW HEAD HEIGHTS SHALL BE 7'-0" A.F.F. (U.N.O.)
- PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS, SEE DETAILS

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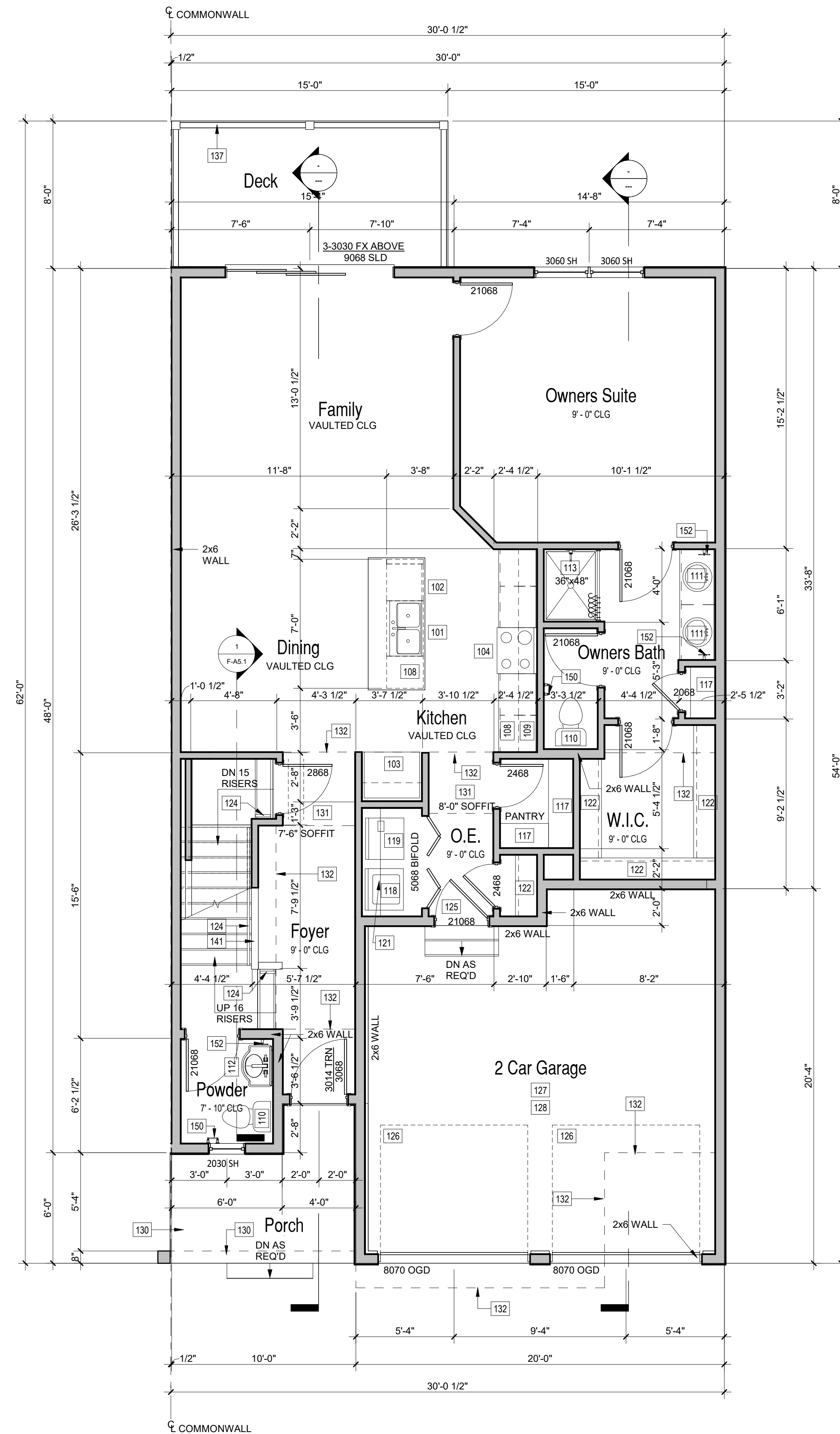
FOUNDATION/ BASEMENT
PLAN-F1

JUNIPER
F-A0.6F1

1 Foundation/ Basement Plan

SCALE: 1/4" = 1'-0"

Elevation - F1



FLOOR PLAN KEYNOTES

- 101 SINK W/ GARBAGE DISPOSAL.
- 102 DISHWASHER.
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- 108 BASE CABINETS.
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GENERAL FLOOR PLAN NOTES:

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- * FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND DETAILS.
- * TYPICAL WINDOW HEAD HEIGHTS SHALL BE 8'-0" 7/8" A.F.F. (U.N.O.) W/ 9'-1" 1/8" CLG. AND 7'-0" 7/8" A.F.F (U.N.O.) W/ 8'-1" 1/8" CLG.
- * PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS, SEE DETAILS

Square Footages-F1	
ELEVATION F1	
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UPPER FLOOR LIVING	598 SF
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REVISIONS

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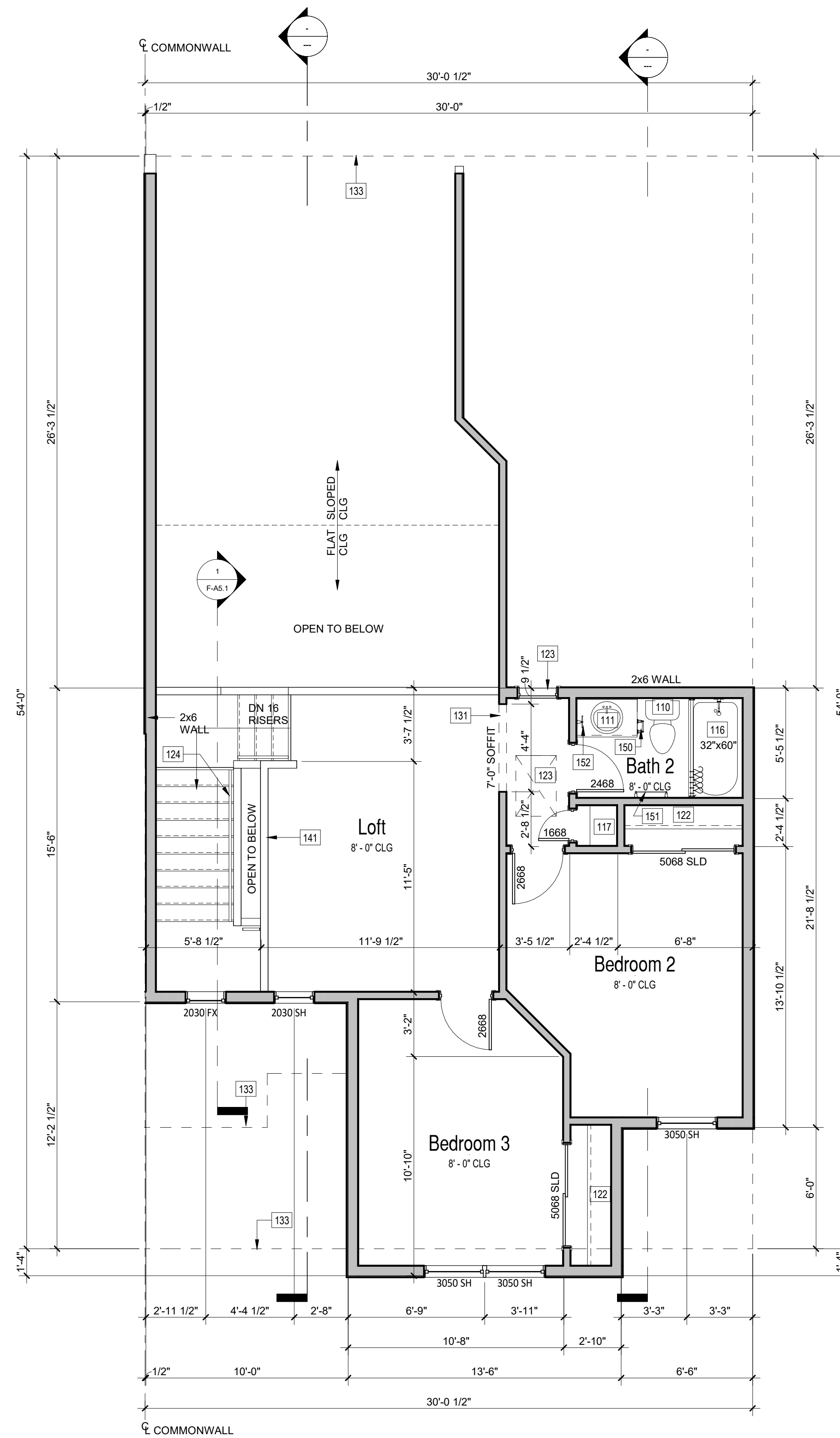
MAIN FLOOR PLAN-F1

JUNIPER
F-A1.6F1

Main Floor Plan

SCALE: 1/4" = 1'-0" (22x34)

Elevation - F1



FLOOR PLAN KEYNOTES

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- TYPICAL WINDOW HEAD HEIGHTS SHALL BE 8'-0 7/8" A.F.F. (U.N.O.) W/ 9'-1 1/8" CLG. AND 7'-0 7/8" A.F.F. (U.N.O.) W/ 8'-1 1/8" CLG.
- PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS. SEE DETAILS

Square Footages-F1	
	ELEVATION F1
MAIN FLOOR LIVING	1168 SF
UPPER FLOOR LIVING	598 SF
TOTAL LIVING	1766 SF
PLAN OPTIONS	
OPT FINISHED BASEMENT	814 SF

Upper Floor Plan

SCALE: 1/4" = 1'-0" (22x34)

Elevation - F1

ISSUE DATE: 01/26/2026

NO.	REVISIONS

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O'Brien Home Farm Duplex Downhill Lot
 South Burlington, Vermont
 O'Brien Brothers Agency



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 515 273 3020

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UPPER FLOOR PLAN-F1

JUNIPER
F-A2.6F1

CONSTRUCTION ASSEMBLIES:

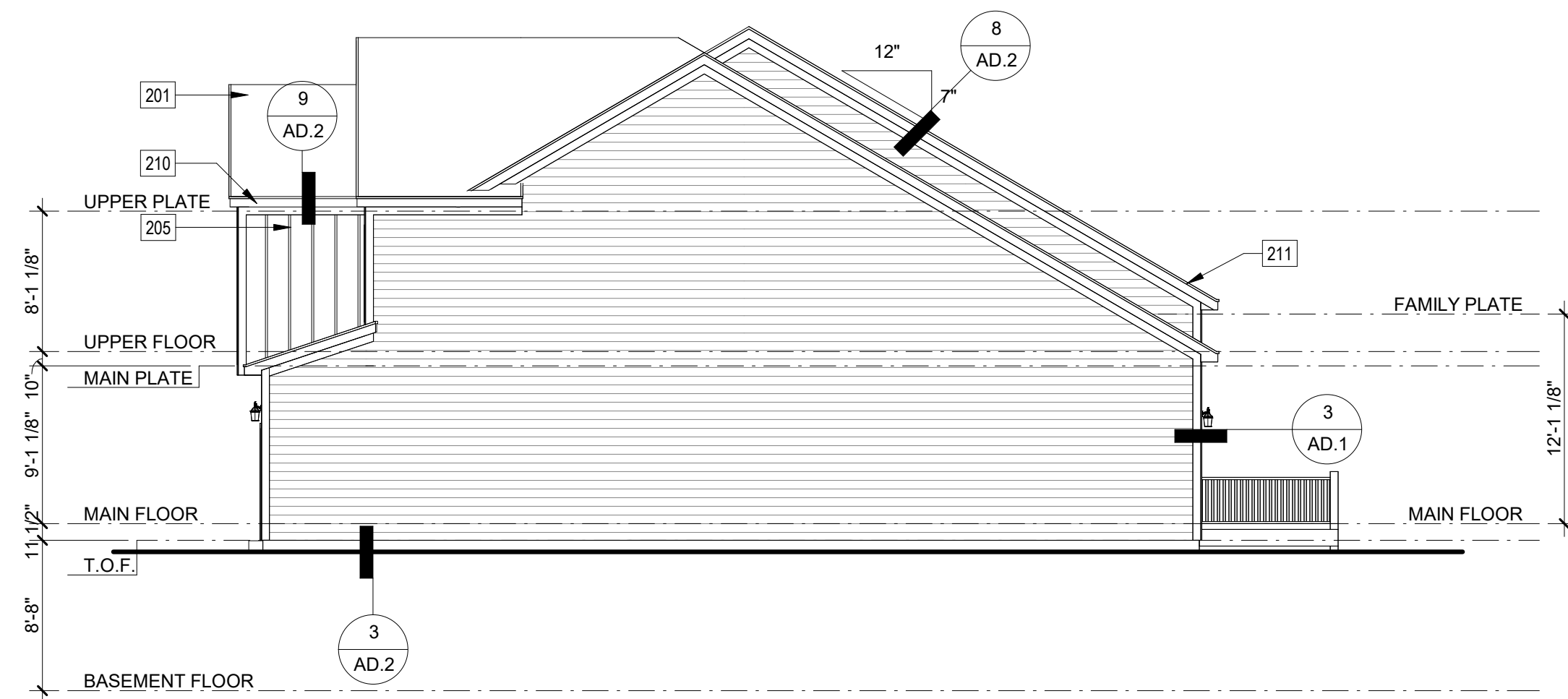
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CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
 - B1. **TYPICAL SIDING WALL CONSTRUCTION:**
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
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 - C. **TYPICAL FLOOR CONSTRUCTION:**
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MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
 - D. **CONCRETE SLAB CONSTRUCTION:**
4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FLOOR PLAN NOTES:

- ALL UNDIMENSIONED PARTITIONS (T1) ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS MEETS ALL EMERGENCY EGRESS REQUIREMENTS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT, METER LOCATIONS, ETC. SHALL BE CONFIRMED BY MECHANICAL AND ELECTRICAL CONTRACTORS. CONTRACTORS SHALL COORDINATE WITH BUILDER PRIOR TO RELOCATION OF EQUIPMENT AND METERS.
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS UNLESS NOTED OTHERWISE.
- TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
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- PROVIDE BLOCKING FOR ALL GRAB BARS IN BATHS. SEE DETAILS

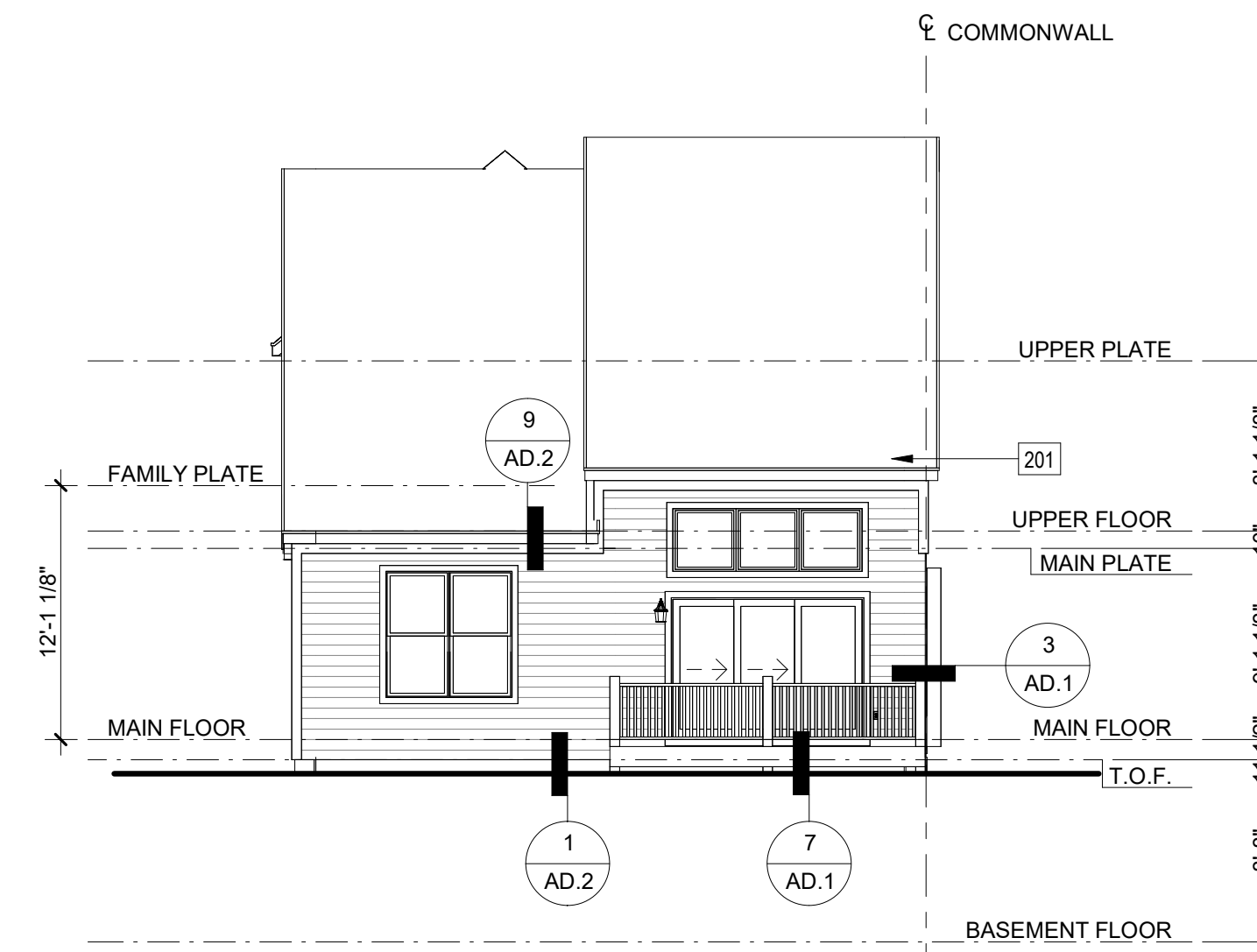
ELEVATION KEYNOTES

- 201 ROOFING PER BUILDER SPEC.
- 203 6" LAP SIDING.
- 205 BOARD & BATTEN SIDING.
- 210 ALUMINUM WRAPPED 2x8 FASCIA.
- 211 ALUMINUM WRAPPED 2x8 RAKE.
- 213 5/4x4 TRIM.
- 215 5/4x8 TRIM.
- 218 5/4x TRIM.
- 223 5/4x6 FRIEZE TRIM.
- 224 BRACKET- FYPON BKT 16X18X3 OR EQUAL



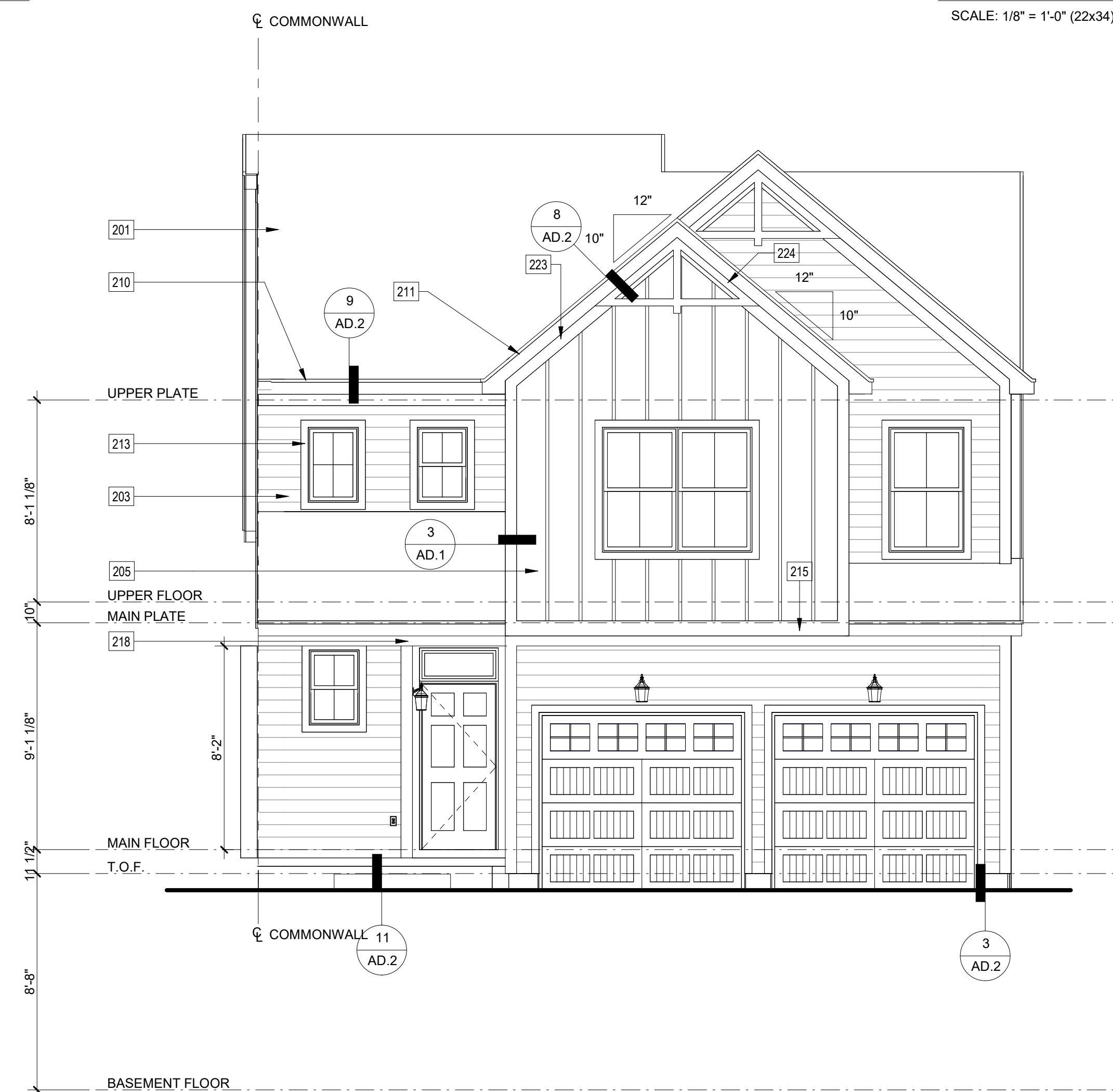
Right Elevation

SCALE: 1/8" = 1'-0" (22x34)



Rear Elevation

SCALE: 1/8" = 1'-0" (22x34)



Front Elevation

SCALE: 1/4" = 1'-0" (22x34)

Elevation - F1

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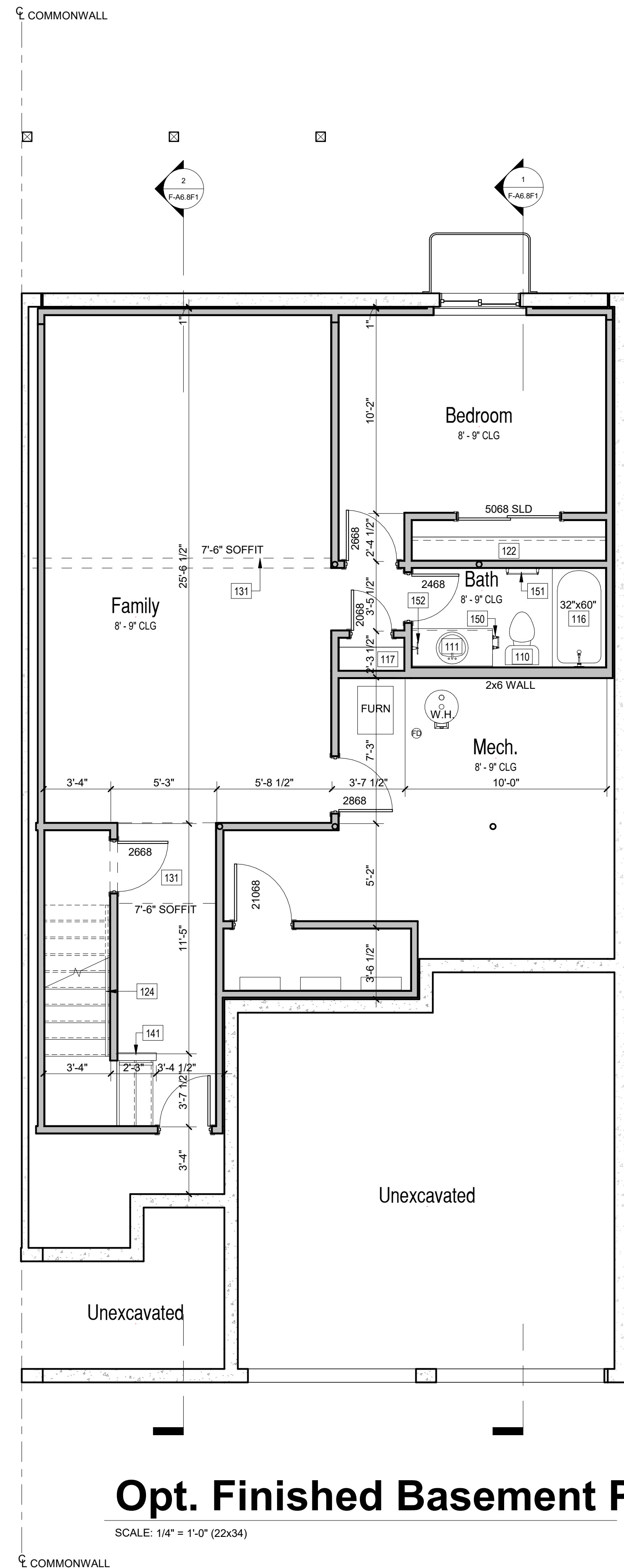


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EXTERIOR ELEVATIONS-F1

JUNIPER
F-A3.6F1



Opt. Finished Basement Plan

SCALE: 1/4" = 1'-0" (22x34)

CONSTRUCTION ASSEMBLIES:

- T** THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS
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4" CONCRETE SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

BASEMENT PLAN NOTES:

*SEE BASEMENT PLAN SHEETS FOR ADDITIONAL INFORMATION

FLOOR PLAN NOTES:

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ELEVATION NOTES:

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ELECTRICAL NOTES:

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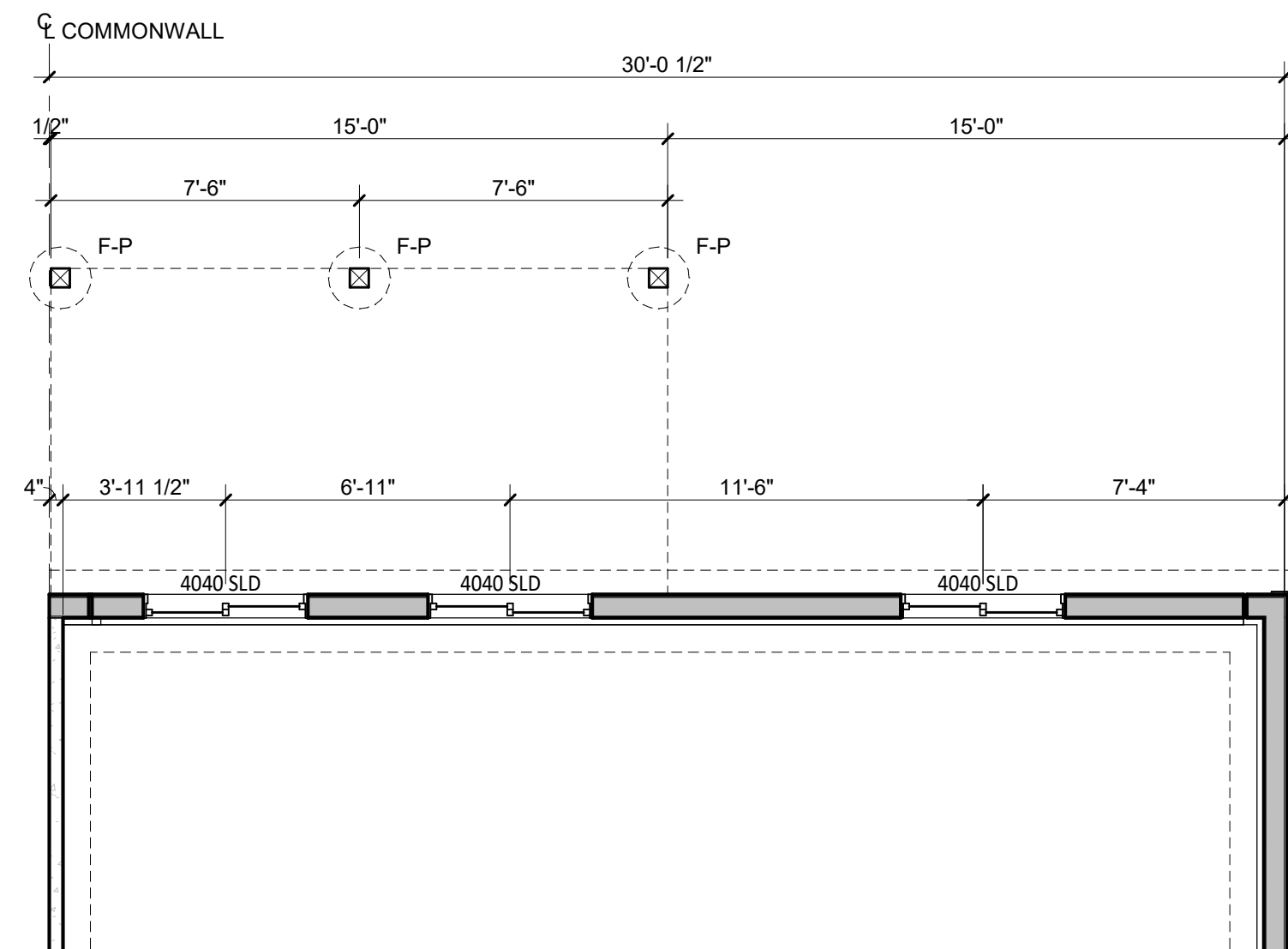
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FLOOR PLAN OPTIONS

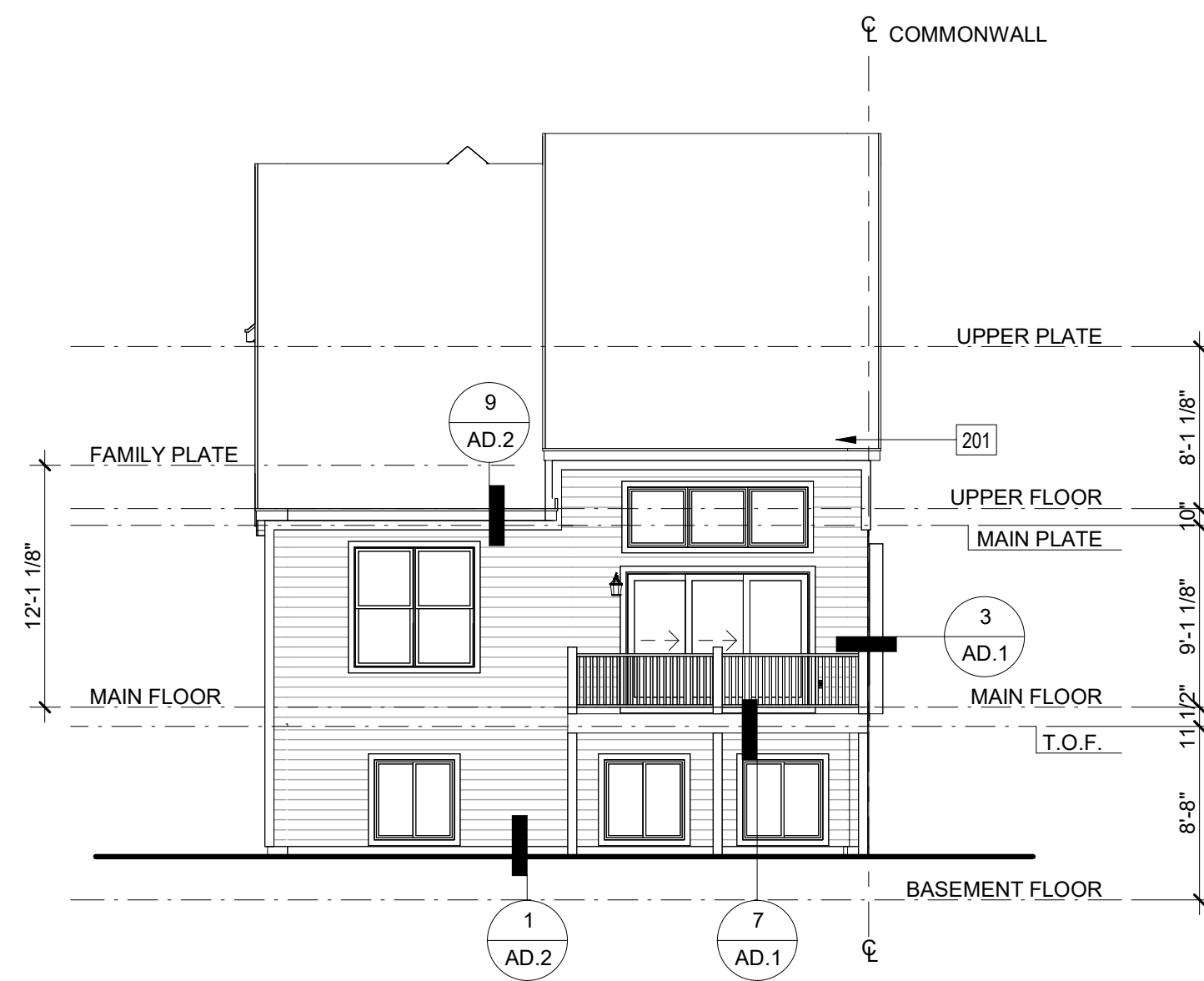
JUNIPER
F-A4.1.1

Floor Plan Options



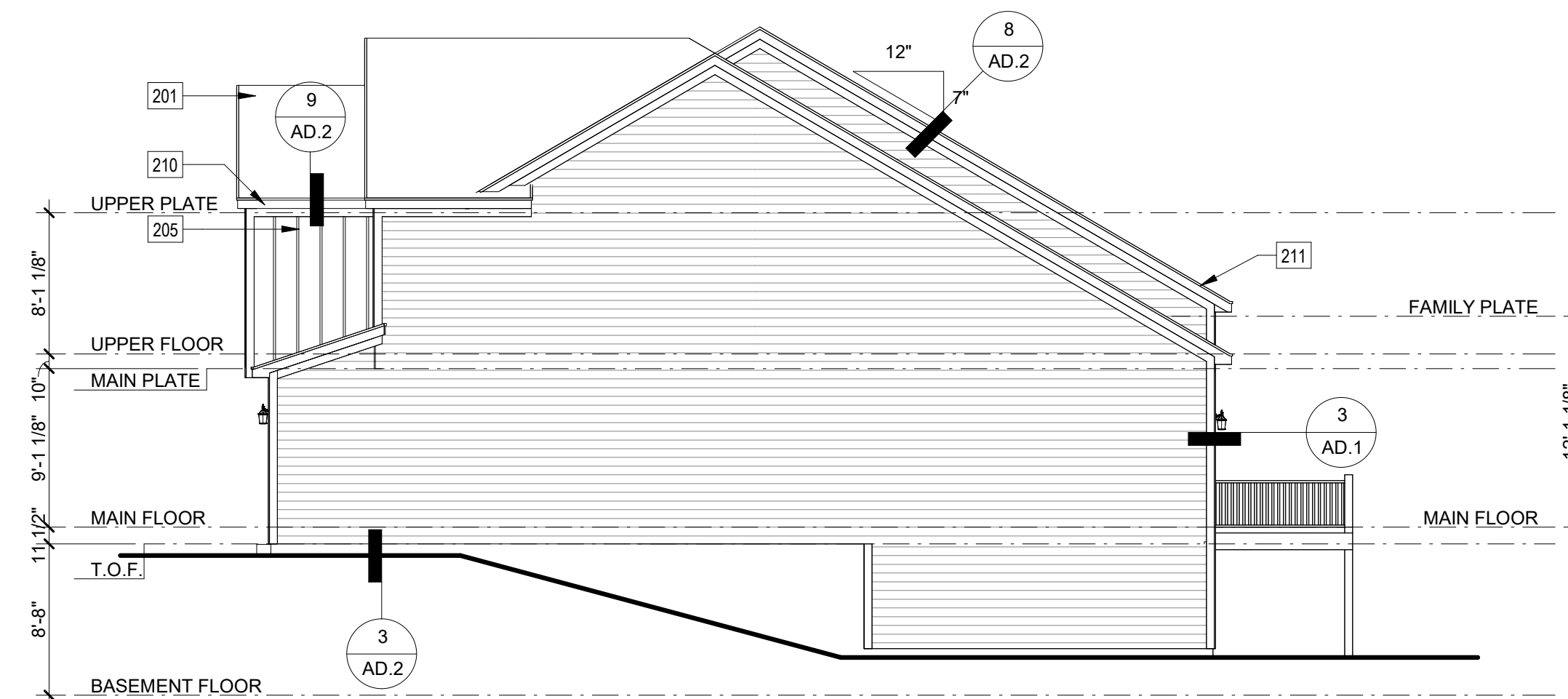
Foundation/ Basement Plan

SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation

SCALE: 1/8" = 1'-0" (22x34)



Right Elevation

SCALE: 1/8" = 1'-0" (22x34)

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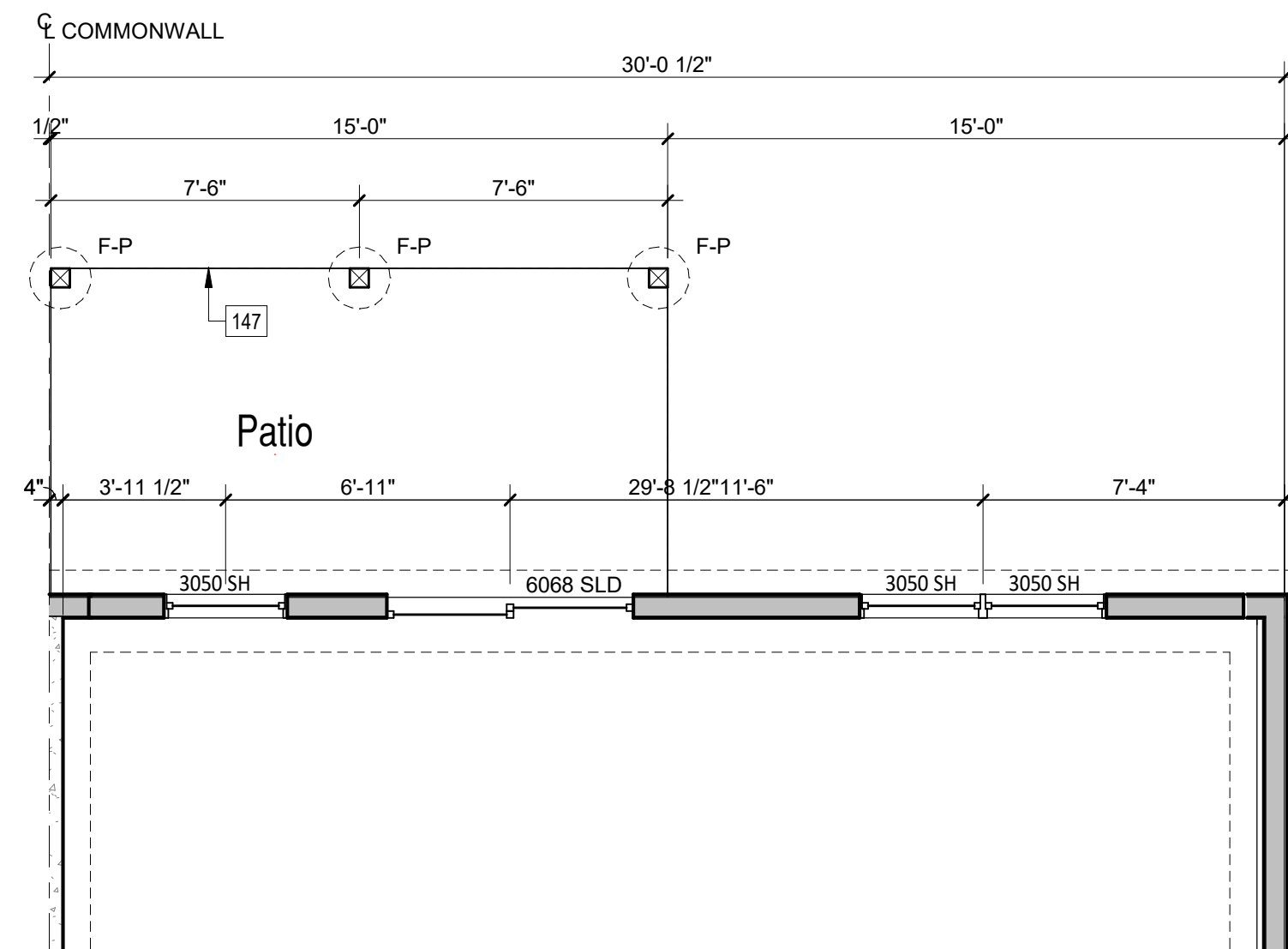
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FLOOR PLAN OPTIONS

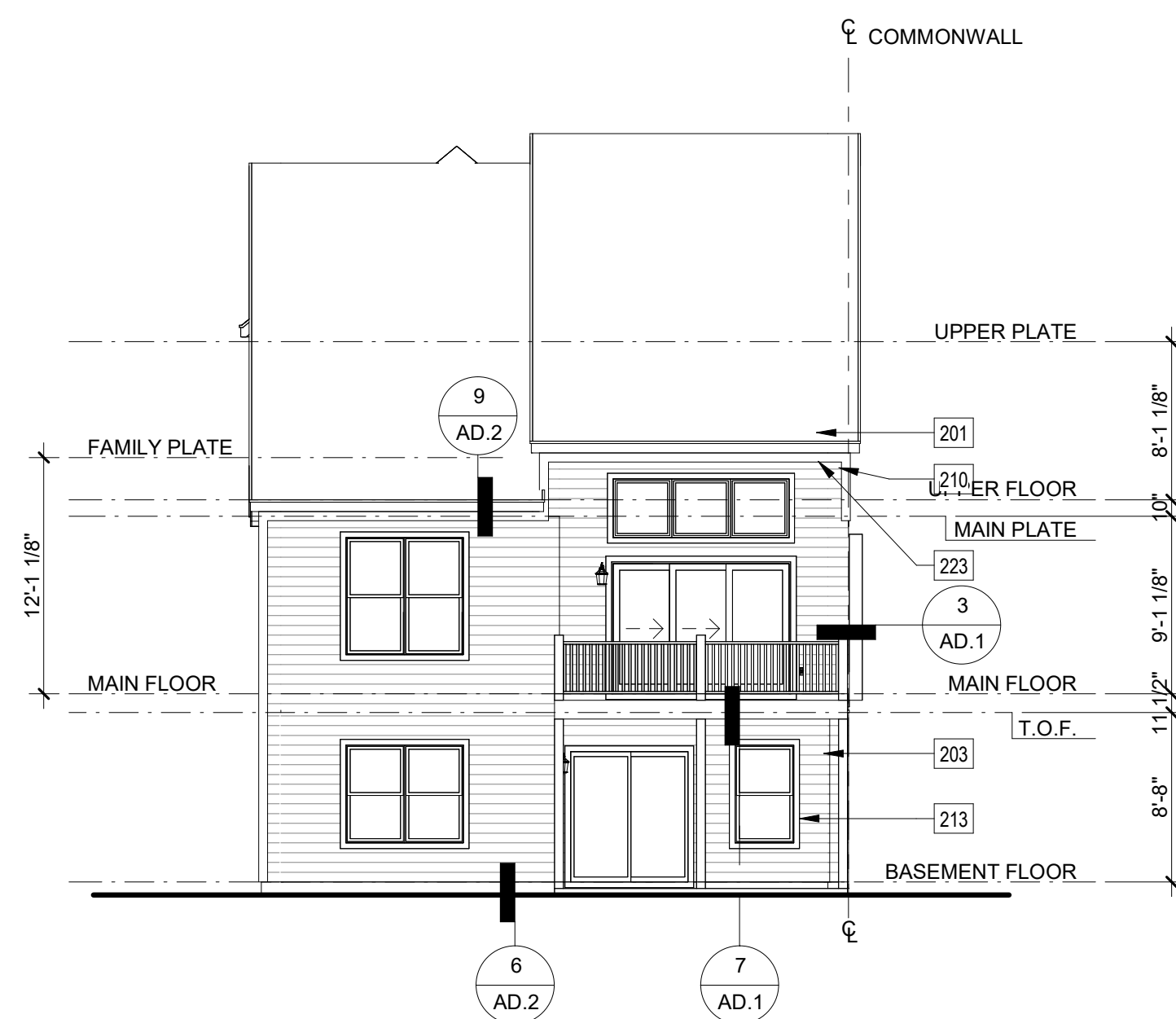
CEDAR
E-A4.1.2

Opt Daylight Basement Floor Plan Options



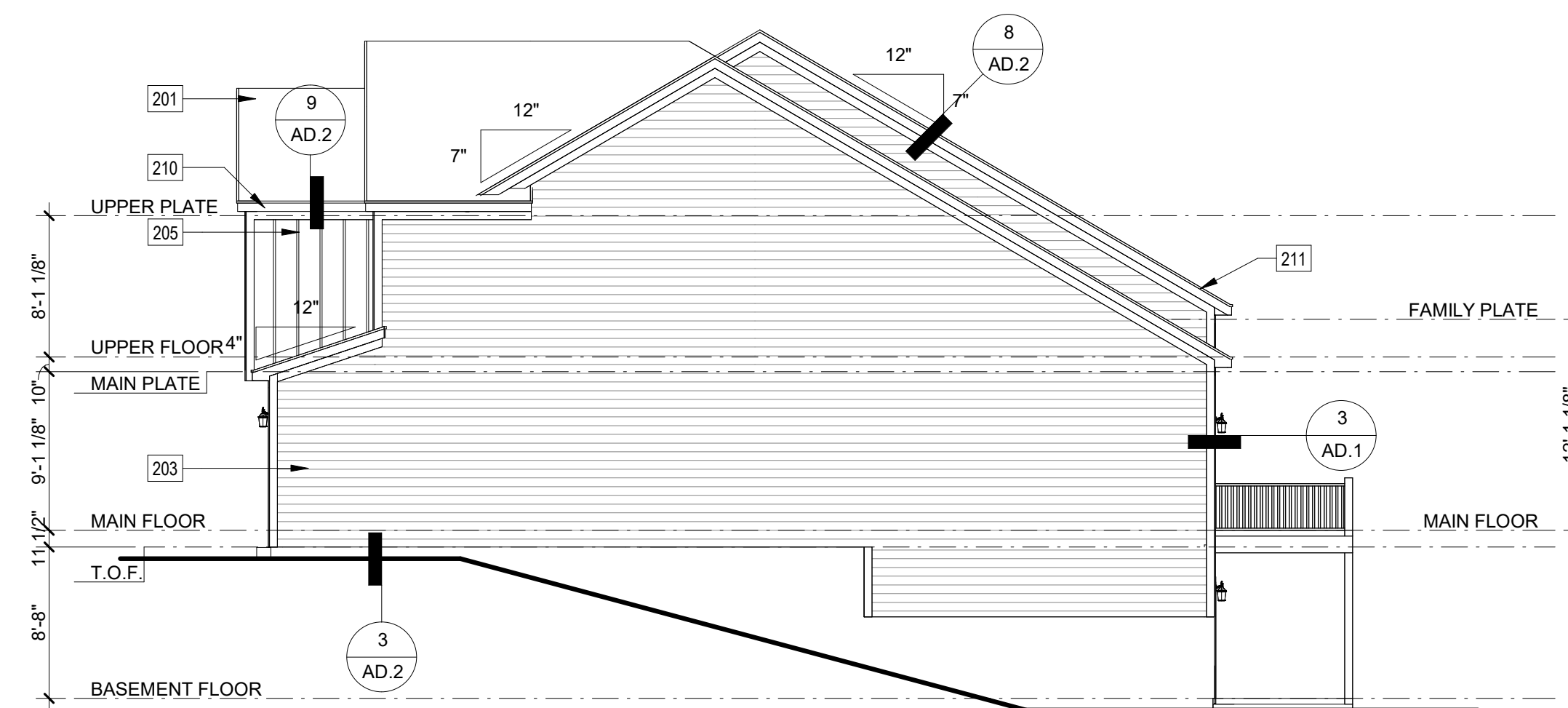
Foundation/ Basement Plan

SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation

SCALE: 1/8" = 1'-0" (22x34)



Right Elevation

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ELECTRICAL NOTES:

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ISSUE DATE: 01/26/2026

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FLOOR PLAN OPTIONS

CEDAR
E-A4.1.3

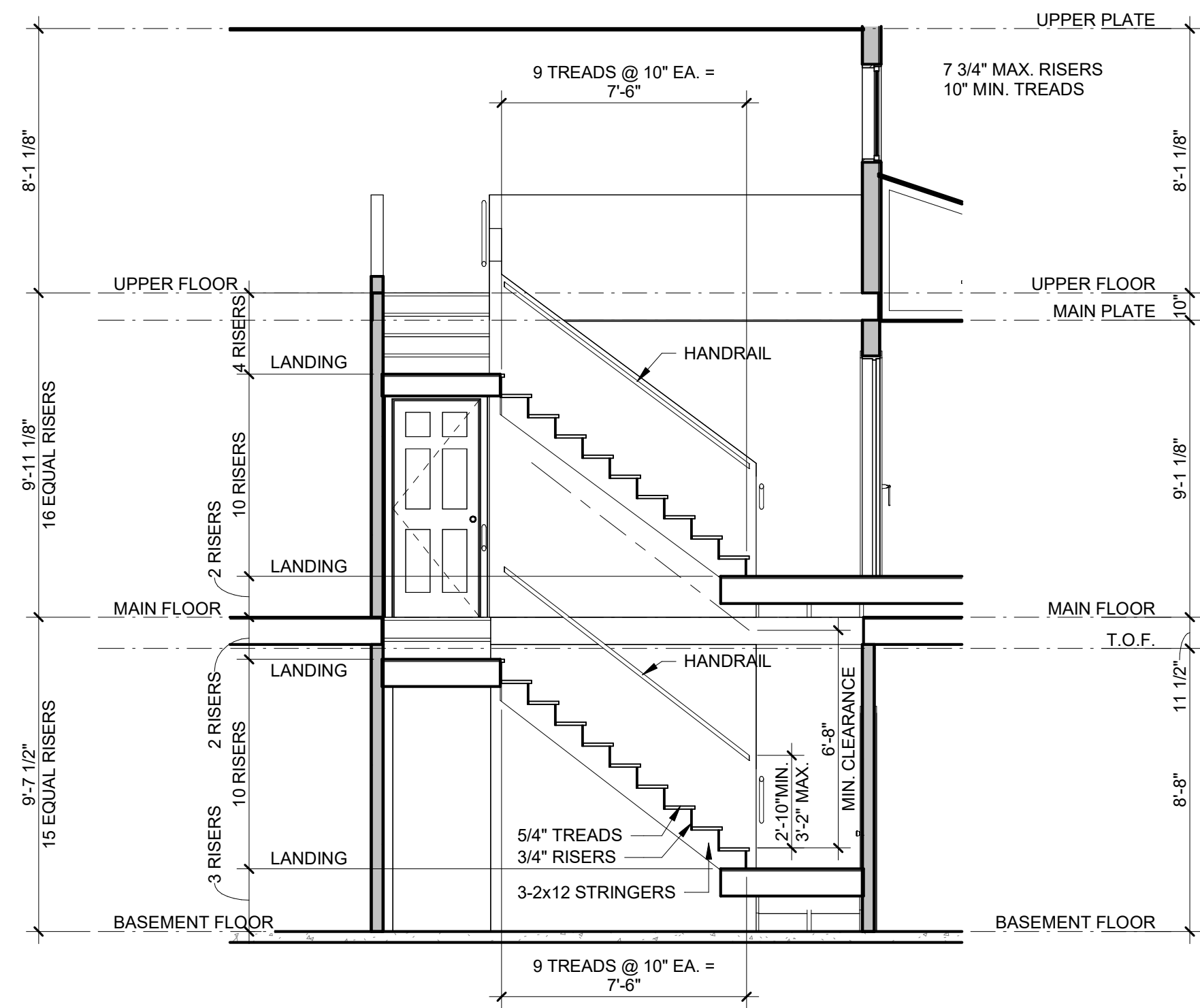
Opt Walkout Basement Floor Plan Options

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1 Stair Section
SCALE: 1/4" = 1'-0"

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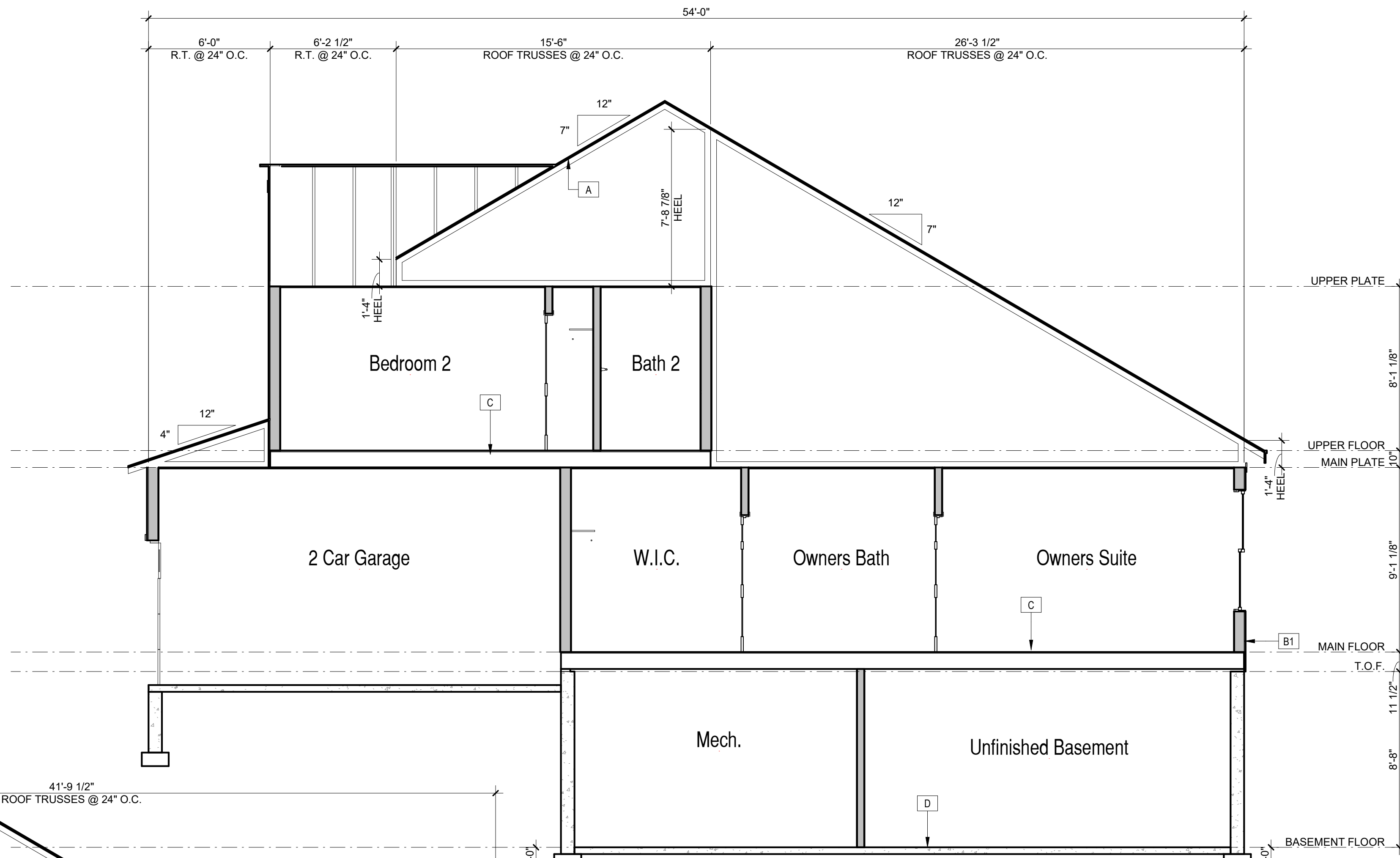
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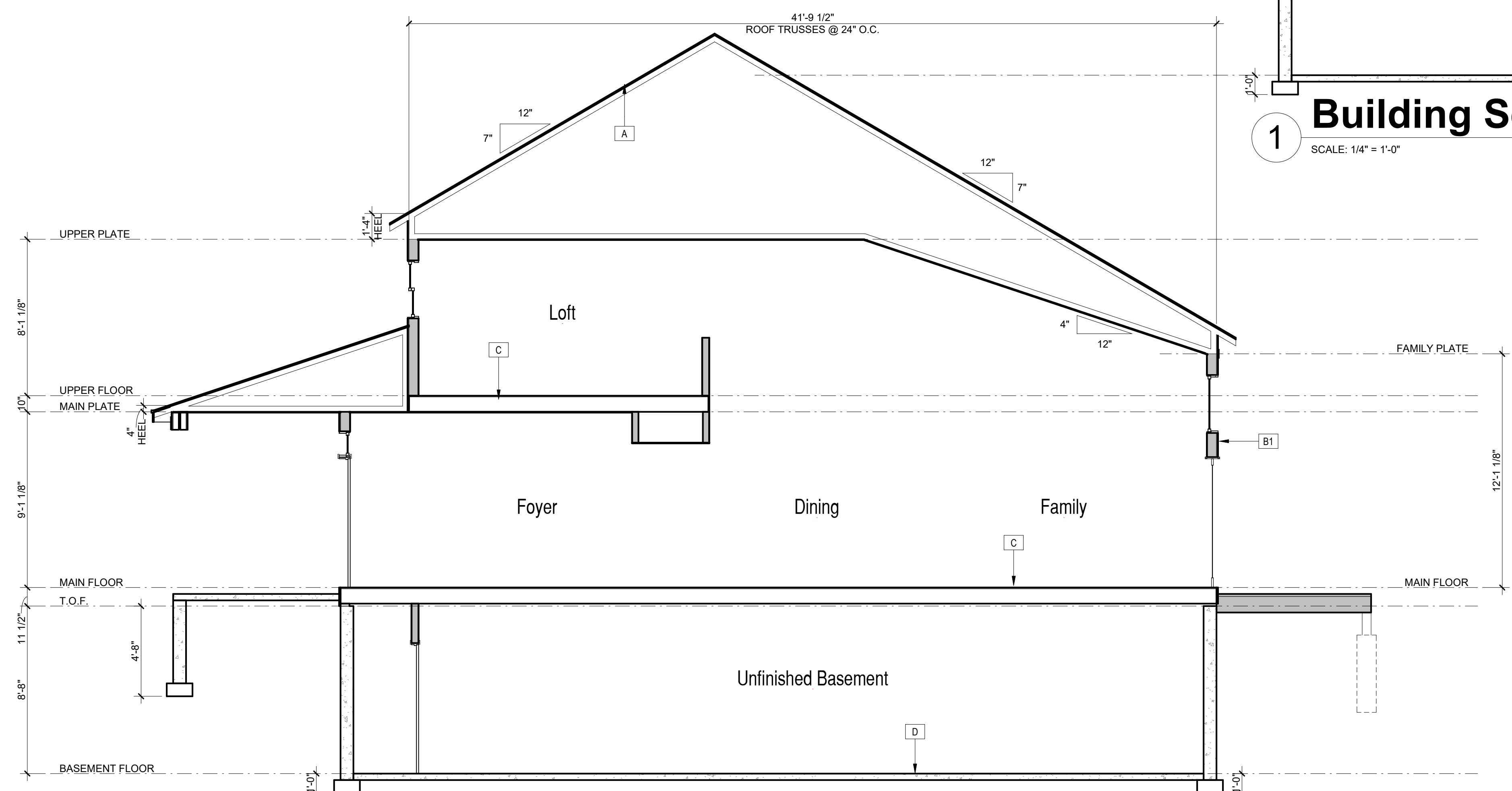
STAIR SECTION

JUNIPER

F-A5.1



1 Building Section
SCALE: 1/4" = 1'-0"



2 Building Section
SCALE: 1/4" = 1'-0"

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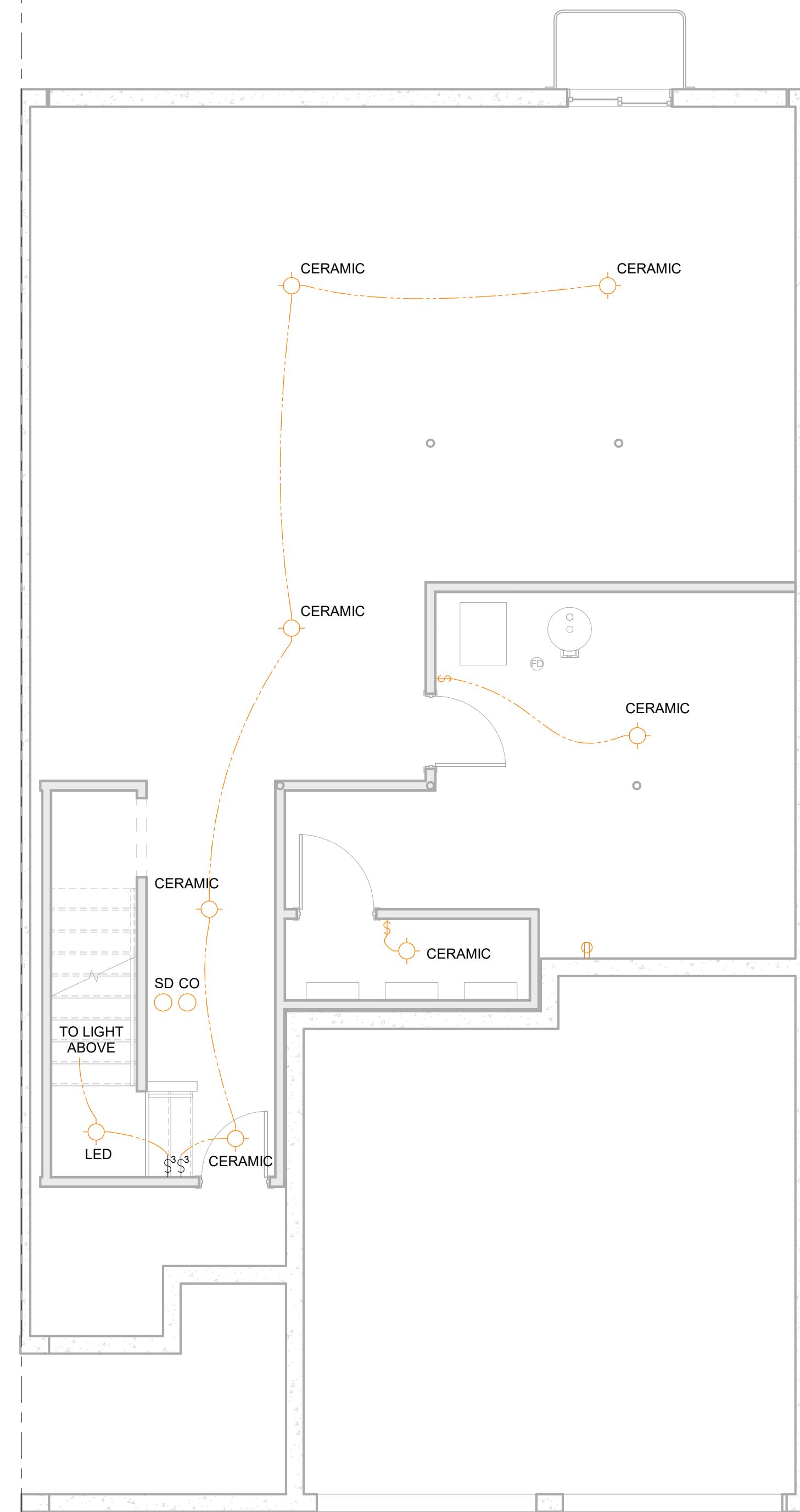
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BUILDING SECTIONS-F1
JUNIPER
F-A6.6F1

Elevation - F1

COMMONWALL



COMMONWALL

Basement Electrical Plan

SCALE: 1/4" = 1'-0" (22x34)

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, 15 & 20 AMP RECEPTACLE OUTLETS INSTALLED IN ANY HABITAT SPACE SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER PER N.E.C. 210-12(A) & (B).

ELECTRICAL DEVICES:

- SWITCHES OVER COUNTER..... 48" TO CL
- WALL OUTLETS OVER COUNTER..... 48" TO CL
- REMAINING SWITCHES..... 48" TO CL
- WALL OUTLETS..... 12" TO CL
- BATH VANITY BRACKET OUT (1" ABOVE TOP OF MIRROR)..... 1, 2
- WATER SOFTENER AND SUMP OUTLETS..... 48" TO CL
- TELEPHONE OUTLETS..... 12" TO CL
- TELEVISION OUTLETS..... 12" TO CL
- EXTERIOR GFI OUTLETS..... 12" TO CL
- GARAGE GFI (ABOVE GARAGE FLOOR)..... 12" TO CL
- BASEMENT WALL OUTLETS..... 48" TO CL
- FRONT DOOR COACH LIGHT..... 72" TO CL
- GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR)..... 84" TO CL
- DINING AND BREAKFAST FIXTURE..... 64" TO BOTTOM OF FIXTURE
- FOYER AND STAIRWAY FIXTURE..... 96" TO BOTTOM OF FIXTURE
- THERMOSTAT..... 54" TO CL
- DOORBELL CHIMES..... 84" TO CL
- DOORBELL BUTTON..... LEVEL W/ DOOR HANDLE
- KITCHEN HOOD FAN "WHIP"..... 66" TO CL
- KITCHEN WALL HUNG MICROWAVE OUTLET..... 76" TO CL
- KITCHEN DISHWASHER RECEPTACLE UNDER SINK..... 48" TO CL
- KITCHEN RANGE..... 24" TO CL
- KITCHEN REFRIGERATOR..... 48" TO CL
- WASHER/DRYER OUTLET..... 48" TO CL

CL = CENTERLINE

1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

ELECTRICAL KEY:

- SINGLE POLE OUTLET
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET/JUNCTION BOX
- USB CHARGER/TAMPER-RESISTANT DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220V 220 VOLT OUTLET
- OVERHEAD DUPLEX
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- REINFORCED JUNCTION BOX
- CEILING MOUNTED LIGHT FIXTURE
- SEMI FLUSH CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE (WEATHERPROOF)
- RECESSED FLOURESCENT LIGHT FIXTURE (WEATHERPROOF)
- RECESSED LIGHT FIXTURE (VAPOR-PROOF)
- RECESSED FLOURESCENT LIGHT FIXTURE (VAPOR-PROOF)
- CEILING MOUNTED PENDANT LIGHT FIXTURE
- CEILING MOUNTED MINI-PENDANT LIGHT FIXTURE
- CEILING MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LED LIGHT FIXTURE
- RECESSED LED LIGHT FIXTURE
- RECESSED ADJUSTABLE EYEBALL LED LIGHT FIXTURE
- LED LIGHT FIXTURE WITH PULL CHAIN
- FLUORESCENT LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE WITH PULL CHAIN
- EXHAUST FAN (VENT TO EXIT)
- EXHAUST FAN w/ TIMER/LIGHT COMBINATION (VENT TO EXIT)
- EXHAUST FAN WITH HEAT LAMP (VENT TO EXIT)
- CHIMES
- PUSH BUTTON SWITCH
- SMOKE DETECTOR
- HEAT DETECTOR
- CO DETECTOR
- THERMOSTAT
- SPEAKER (PROVIDE ADEQUATE SUPPORT)
- TELEVISION
- ELECTRIC METER
- ELECTRIC PANEL
- TELEPHONE
- COMPUTER
- CEILING FAN WITH LED LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)

ISSUE DATE: 01/26/2026

NO.	REVISIONS

O'Brien Home Farm Duplex Downhill Lot
 South Burlington, Vermont
 O'Brien Brothers Agency



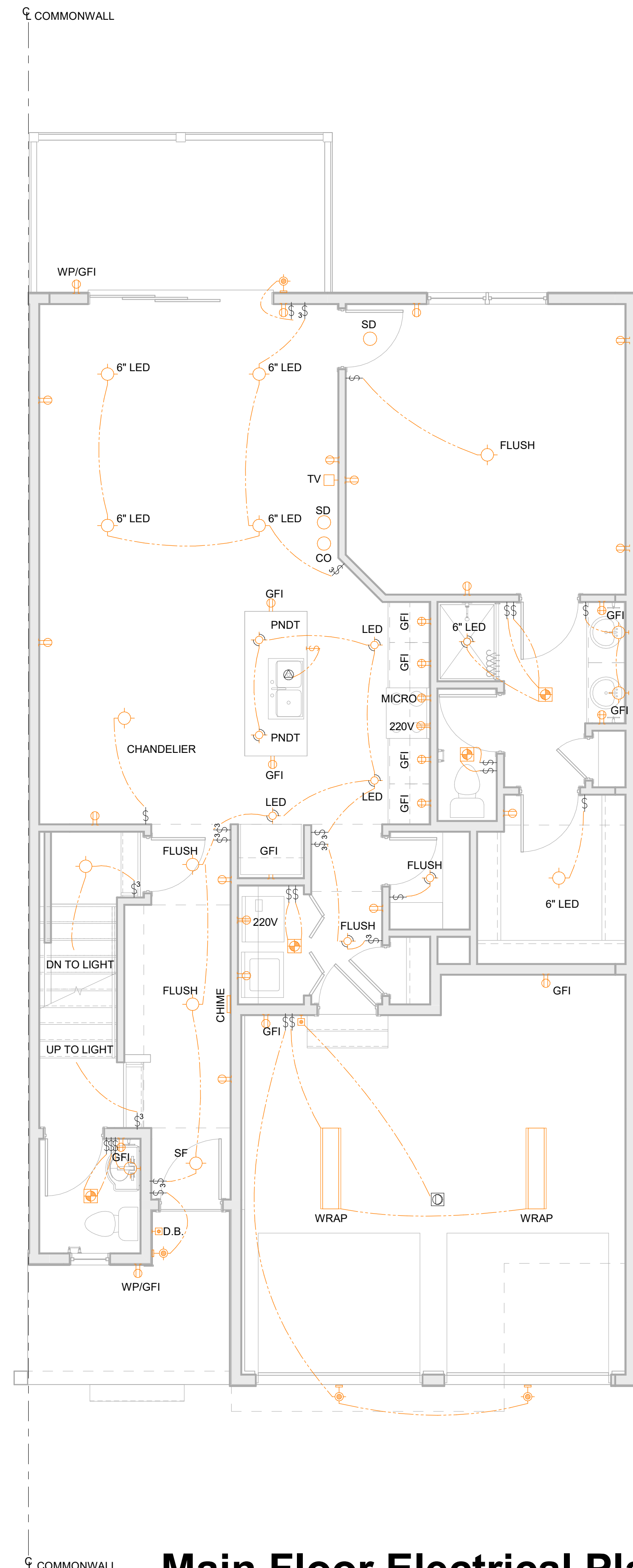
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BASEMENT ELECTRICAL PLAN-F1

JUNIPER
F-E0.6F1

Elevation - F1



Main Floor Electrical Plan

SCALE: 1/4" = 1'-0" (22x34)

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT 15 & 20 AMP RECEPTACLE OUTLETS INSTALLED IN ANY HABITAT SPACE SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER PER N.E.C. 210-12(A) & (B).

ELECTRICAL DEVICES:

DEVICES	ABOVE FINISHED FLOOR:
SWITCHES OVER COUNTER	48" TO CL
WALL OUTLETS OVER COUNTER	48" TO CL
REMAINING SWITCHES	48" TO CL
WALL OUTLETS	12" TO CL
BATH VANITY BRACKET OUT (1" ABOVE TOP OF MIRROR)	80" TO CL
WATER SOFTENER AND SUMP OUTLETS	48" TO CL
TELEPHONE OUTLETS	12" TO CL
TELEVISION OUTLETS	12" TO CL
EXTERIOR GFI OUTLETS	12" TO CL
GARAGE GFI (ABOVE GARAGE FLOOR)	12" TO CL
BASEMENT WALL OUTLETS	48" TO CL
FRONT DOOR COACH LIGHT (ABOVE GARAGE FLOOR)	72" TO CL
GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR)	84" TO CL
DINING AND BREAKFAST FIXTURE	64" TO BOTTOM OF FIXTURE
FOYER AND STAIRWAY FIXTURE	96" TO BOTTOM OF FIXTURE
THERMOSTAT	54" TO CL
DOORBELL CHIMES	84" TO CL
DOORBELL BUTTON	LEVEL W/ DOOR HANDLE
KITCHEN HOOD FAN "WHIP"	66" TO CL
KITCHEN WALL HUNG MICROWAVE OUTLET	76" TO CL
KITCHEN DISHWASHER RECEPTACLE UNDER SINK	24" TO CL
KITCHEN REFRIGERATOR	48" TO CL
WASHER/DRYER OUTLET	48" TO CL

CL = CENTERLINE
1 = FIELD VERIFY
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

ELECTRICAL KEY:

- SINGLE POLE OUTLET
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL POURPOSE OUTLET/JUNCTION BOX
- USB CHARGER/TAMPER-RESISTANT DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220V 220 VOLT OUTLET
- OVERHEAD DUPLEX
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- REINFORCED JUNCTION BOX
- CEILING MOUNTED LIGHT FIXTURE
- SEMI FLUSH CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE (WEATHERPROOF)
- RECESSED FLOURESCENT LIGHT FIXTURE (WEATHERPROOF)
- RECESSED LIGHT FIXTURE (VAPOR-PROOF)
- RECESSED FLOURESCENT LIGHT FIXTURE (VAPOR-PROOF)
- CEILING MOUNTED PENDANT LIGHT FIXTURE
- CEILING MOUNTED MINI-PENDANT LIGHT FIXTURE
- CEILING MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LED LIGHT FIXTURE
- RECESSED LED LIGHT FIXTURE
- RECESSED ADJUSTABLE EYEBALL LED LIGHT FIXTURE
- LED LIGHT FIXTURE WITH PULL CHAIN
- FLOURESCENT LIGHT FIXTURE
- FLOURESCENT LIGHT FIXTURE WITH PULL CHAIN
- EXHAUST FAN (VENT TO EXIT)
- EXHAUST FAN w/ TIMER/LIGHT COMBINATION (VENT TO EXIT)
- EXHAUST FAN WITH HEAT LAMP (VENT TO EXIT)
- CHIMES
- PUSH BUTTON SWITCH
- SMOKE DETECTOR
- HEAT DETECTOR
- CO DETECTOR
- THERMOSTAT
- SPEAKER (PROVIDE ADEQUATE SUPPORT)
- TELEVISION
- ELECTRIC METER
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South Burlington, Vermont

O'Brien Brothers Agency



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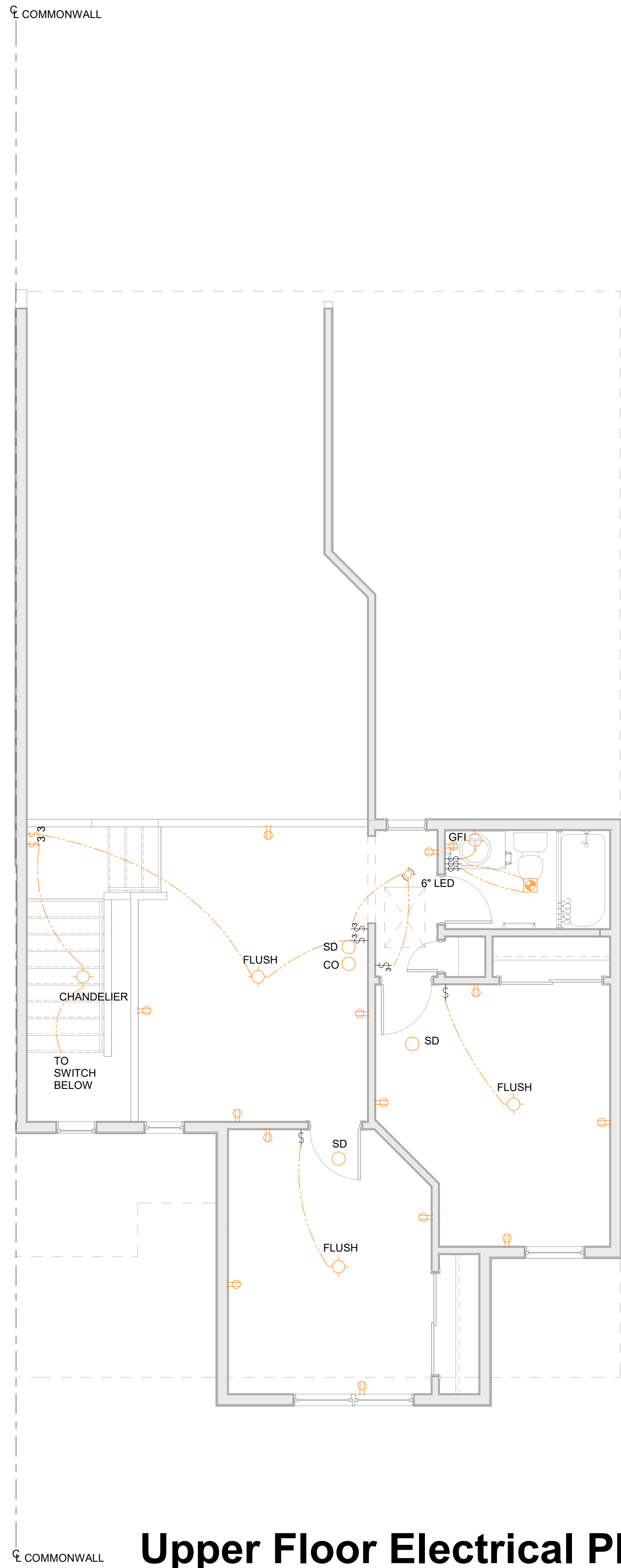
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MAIN FLOOR ELECTRICAL PLAN-F1

JUNIPER

F-E1.6F1

Elevation - F1



Upper Floor Electrical Plan

SCALE: 1/4" = 1'-0" (22x34)

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
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- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
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ELECTRICAL DEVICES:

- SWITCHES OVER COUNTER..... 48" TO CL
- WALL OUTLETS OVER COUNTER..... 48" TO CL
- REMAINING SWITCHES..... 48" TO CL
- WALL OUTLETS..... 12" TO CL
- BATH VANITY BRACKET OUT (1" ABOVE TOP OF MIRROR)..... 1, 2
- WATER SOFTENER AND SUMP OUTLETS..... 48" TO CL
- TELEPHONE OUTLETS..... 12" TO CL
- TELEVISION OUTLETS..... 12" TO CL
- EXTERIOR GFI OUTLETS..... 12" TO CL
- GARAGE GFI (ABOVE GARAGE FLOOR)..... 12" TO CL
- BASEMENT WALL OUTLETS..... 48" TO CL
- FRONT DOOR COACH LIGHT (ABOVE GARAGE FLOOR)..... 72" TO CL
- DINING AND BREAKFAST FIXTURE..... 84" TO CL
- FOYER AND STAIRWAY FIXTURE..... 96" TO BOTTOM OF FIXTURE
- THERMOSTAT..... 54" TO CL
- DOORBELL CHIMES..... 84" TO CL
- DOORBELL BUTTON..... LEVEL W/ DOOR HANDLE
- KITCHEN HOOD FAN "WHIP"..... 66" TO CL
- KITCHEN WALL HUNG MICROWAVE OUTLET..... 76" TO CL
- KITCHEN DISHWASHER RECEPTACLE UNDER SINK..... 24" TO CL
- KITCHEN REFRIGERATOR..... 48" TO CL
- WASHER/DRYER OUTLET..... 48" TO CL

CL = CENTERLINE
1 = FIELD VERIFY
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

ELECTRICAL KEY:

- SINGLE POLE OUTLET
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET/JUNCTION BOX
- USB CHARGER/TAMPER-RESISTANT DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220V 220 VOLT OUTLET
- OVERHEAD DUPLEX
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- REINFORCED JUNCTION BOX
- CEILING MOUNTED LIGHT FIXTURE
- SEMI FLUSH CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE (WEATHERPROOF)
- RECESSED FLOURESCENT LIGHT FIXTURE (WEATHERPROOF)
- RECESSED LIGHT FIXTURE (VAPOR-PROOF)
- RECESSED FLOURESCENT LIGHT FIXTURE (VAPOR-PROOF)
- CEILING MOUNTED PENDANT LIGHT FIXTURE
- CEILING MOUNTED MINI-PENDANT LIGHT FIXTURE
- CEILING MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LED LIGHT FIXTURE
- RECESSED LED LIGHT FIXTURE
- RECESSED ADJUSTABLE EYEBALL LED LIGHT FIXTURE
- LED LIGHT FIXTURE WITH PULL CHAIN
- FLUORESCENT LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE WITH PULL CHAIN
- EXHAUST FAN (VENT TO EXIT)
- EXHAUST FAN w/ TIMER/LIGHT COMBINATION (VENT TO EXIT)
- EXHAUST FAN WITH HEAT LAMP (VENT TO EXIT)
- CHIMES
- PUSH BUTTON SWITCH
- SMOKE DETECTOR
- HEAT DETECTOR
- CO DETECTOR
- THERMOSTAT
- SPEAKER (PROVIDE ADEQUATE SUPPORT)
- TELEVISION
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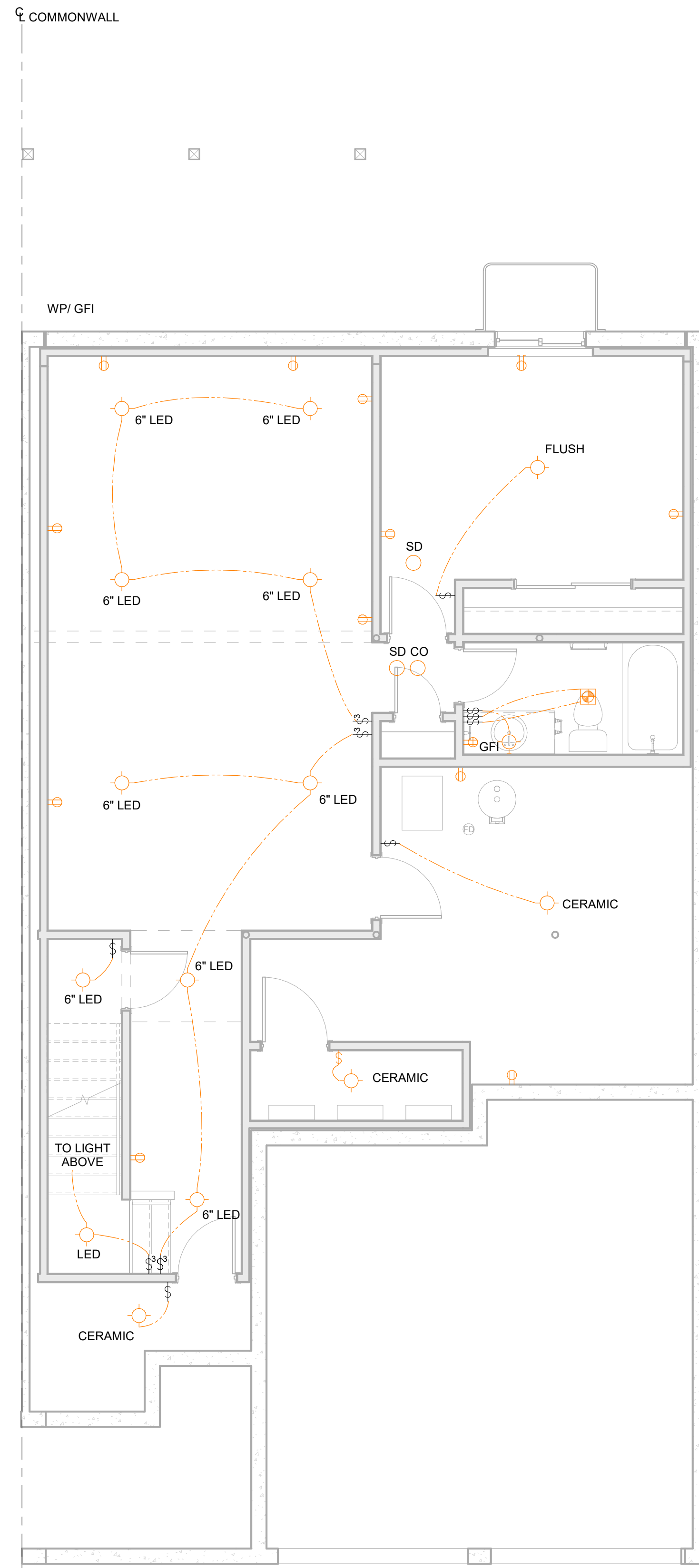
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UPPER FLOOR ELECTRICAL PLAN-F1

JUNIPER
F-E2.6F1

Elevation - F1



Opt. Finished Basement Electrical Plan

SCALE: 1/4" = 1'-0" (22x34)

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
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ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:

- SWITCHES OVER COUNTER..... 48" TO CL
 - WALL OUTLETS OVER COUNTER..... 48" TO CL
 - REMAINING SWITCHES..... 48" TO CL
 - WALL OUTLETS..... 12" TO CL
 - BATH VANITY BRACKET OUT (1" ABOVE TOP OF MIRROR)..... 1.2 80" TO CL
 - WATER SOFTENER AND SUMP OUTLETS..... 48" TO CL
 - TELEPHONE OUTLETS..... 12" TO CL
 - TELEVISION OUTLETS..... 12" TO CL
 - EXTERIOR GFI OUTLETS..... 12" TO CL
 - GARAGE GFI (ABOVE GARAGE FLOOR)..... 12" TO CL
 - BASEMENT WALL OUTLETS..... 48" TO CL
 - FRONT DOOR COACH LIGHT..... 72" TO CL
 - GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR)..... 84" TO CL
 - DINING AND BREAKFAST FIXTURE..... 84" TO BOTTOM OF FIXTURE
 - FOYER AND STAIRWAY FIXTURE..... 96" TO BOTTOM OF FIXTURE
 - THERMOSTAT..... 54" TO CL
 - DOORBELL CHIMES..... 84" TO CL
 - DOORBELL BUTTON..... LEVEL W/ DOOR HANDLE
 - KITCHEN HOOD FAN "WHIP"..... 66" TO CL
 - KITCHEN WALL HUNG MICROWAVE OUTLET..... 76" TO CL
 - KITCHEN DISHWASHER RECEPTACLE UNDER SINK..... 48" TO CL
 - KITCHEN RANGE..... 24" TO CL
 - KITCHEN REFRIGERATOR..... 48" TO CL
 - WASHER/DRYER OUTLET..... 48" TO CL
- CL = CENTERLINE
1 = FIELD VERIFY
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

ELECTRICAL KEY:

- SINGLE POLE OUTLET
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- WP GFI GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL POURPOSE OUTLET/JUNCTION BOX
- USB CHARGER/TAMPER-RESISTANT DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220V 220 VOLT OUTLET
- OVERHEAD DUPLEX WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- REINFORCED JUNCTION BOX
- CEILING MOUNTED LIGHT FIXTURE
- SF SEMI FLUSH CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE (WEATHERPROOF)
- WP RECESSED FLOURESCENT LIGHT FIXTURE (WEATHERPROOF)
- FLUR RECESSED FLOURESCENT LIGHT FIXTURE (VAPOR-PROOF)
- VP RECESSED FLOURESCENT LIGHT FIXTURE (VAPOR-PROOF)
- VP/FLUR RECESSED FLOURESCENT LIGHT FIXTURE (VAPOR-PROOF)
- PNDT CEILING MOUNTED PENDANT LIGHT FIXTURE
- MINI CEILING MOUNTED MINI-PENDANT LIGHT FIXTURE
- LED CEILING MOUNTED LED LIGHT FIXTURE
- LED WALL MOUNTED LED LIGHT FIXTURE
- LED RECESSED LED LIGHT FIXTURE
- EB RECESSED ADJUSTABLE EYEBALL LED LIGHT FIXTURE
- PC LED LIGHT FIXTURE WITH PULL CHAIN
- FLUORESCENT LIGHT FIXTURE
- PC FLUORESCENT LIGHT FIXTURE WITH PULL CHAIN
- EXHAUST FAN (VENT TO EXIT)
- EXHAUST FAN w/ TIMER/LIGHT COMBINATION (VENT TO EXIT)
- EXHAUST FAN WITH HEAT LAMP (VENT TO EXIT)
- CHIMES
- PUSH BUTTON SWITCH
- SD SMOKE DETECTOR
- HD HEAT DETECTOR
- CO CO DETECTOR
- T THERMOSTAT
- S SPEAKER (PROVIDE ADEQUATE SUPPORT)
- TV TELEVISION
- M ELECTRIC METER
- ELECTRIC PANEL
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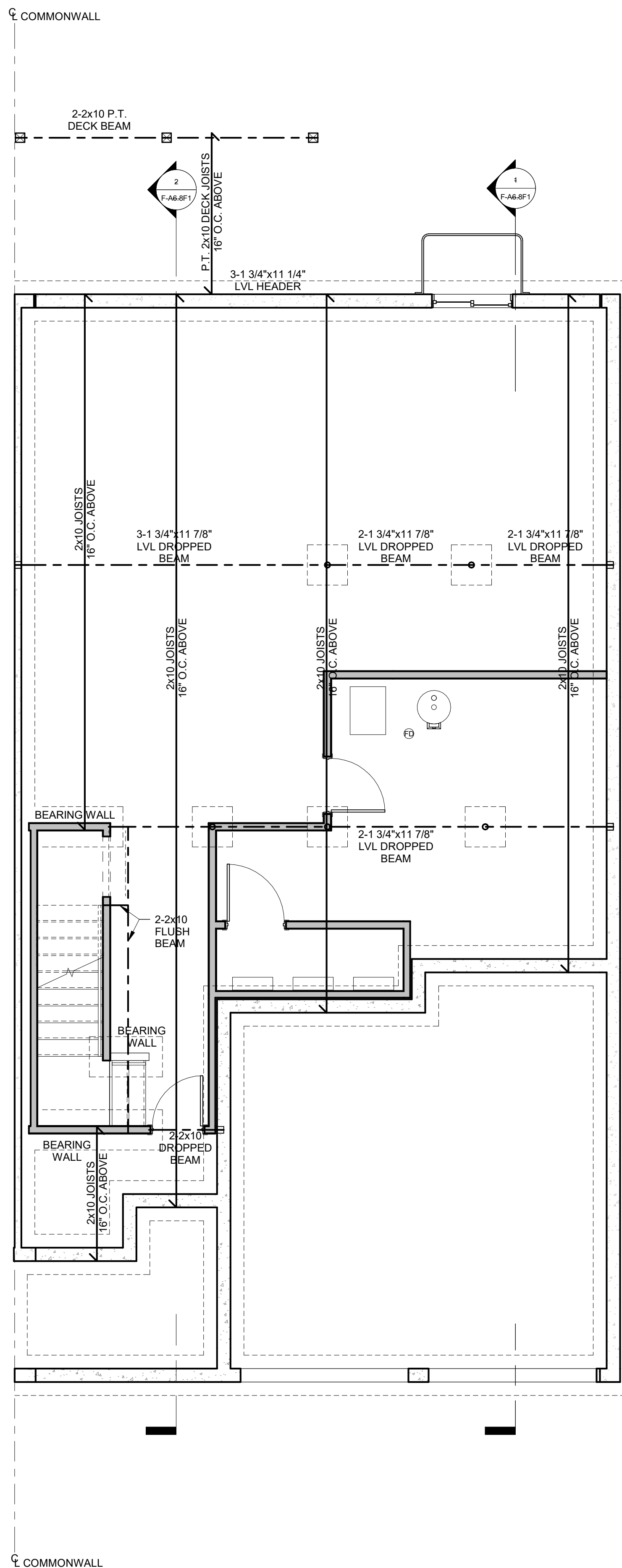
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 DRAWN: Author CHECKED: checker

FLOOR PLAN ELECTRICAL OPTIONS

F-E4.1.1

Floor Plan Electrical Options



Main Floor Framing Plan

SCALE: 1/4" = 1'-0" (22x34)

Elevation - F1

CONSTRUCTION ASSEMBLIES:

- T** THE FOLLOWING KEYNOTES REFERENCE THE SYMBOLS AS SHOWN ON PLANS
- A. ROOF CONSTRUCTION:** COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS). CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
 - B1. TYPICAL SIDING WALL CONSTRUCTION:** SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - B2. TYPICAL STONE VENEER WALL CONSTRUCTION:** ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
 - C. TYPICAL FLOOR CONSTRUCTION:** FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
 - D. CONCRETE SLAB CONSTRUCTION:** 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FRAMING PLAN NOTES:

- * PROVIDE MINIMUM 3-2x10 HEADER OVER DOORS & WINDOWS UNLESS NOTED OTHERWISE.
- * PROVIDE THE FOLLOWING POSTS AT ENDS OF HEADERS (UNLESS NOTED OTHERWISE):
 - ** OPENINGS 4'-0" OR LESS: 1 JACK STUD & 1 KING STUD
 - ** OPENINGS GREATER THAN 4'-0": 2 JACK STUDS & 1 KING STUD
- * PROVIDE MINIMUM 3-2x4 POST AT 2x4 WALLS OR 2-2x6 POST AT 2x6 WALLS AT ENDS OF GIRDER TRUSSES AND BEAMS UNLESS NOTED OTHERWISE.
- * SOLID BLOCK IN FLOOR FRAMING BENEATH ALL POSTS TO FOUNDATION BELOW OR TO POST IN WALL BELOW.
- * ANCHOR ROOF TRUSSES AND RAFTERS WITH SIMPSON H2.5 ANCHORS, TYPICAL.
- * SUPPORT OVERFRAMING ON FRAMING MEMBERS OR PROVIDE SOLID BLOCKING.
- * PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- * TRUSS MANUFACTURER SHALL SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.

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REVISIONS

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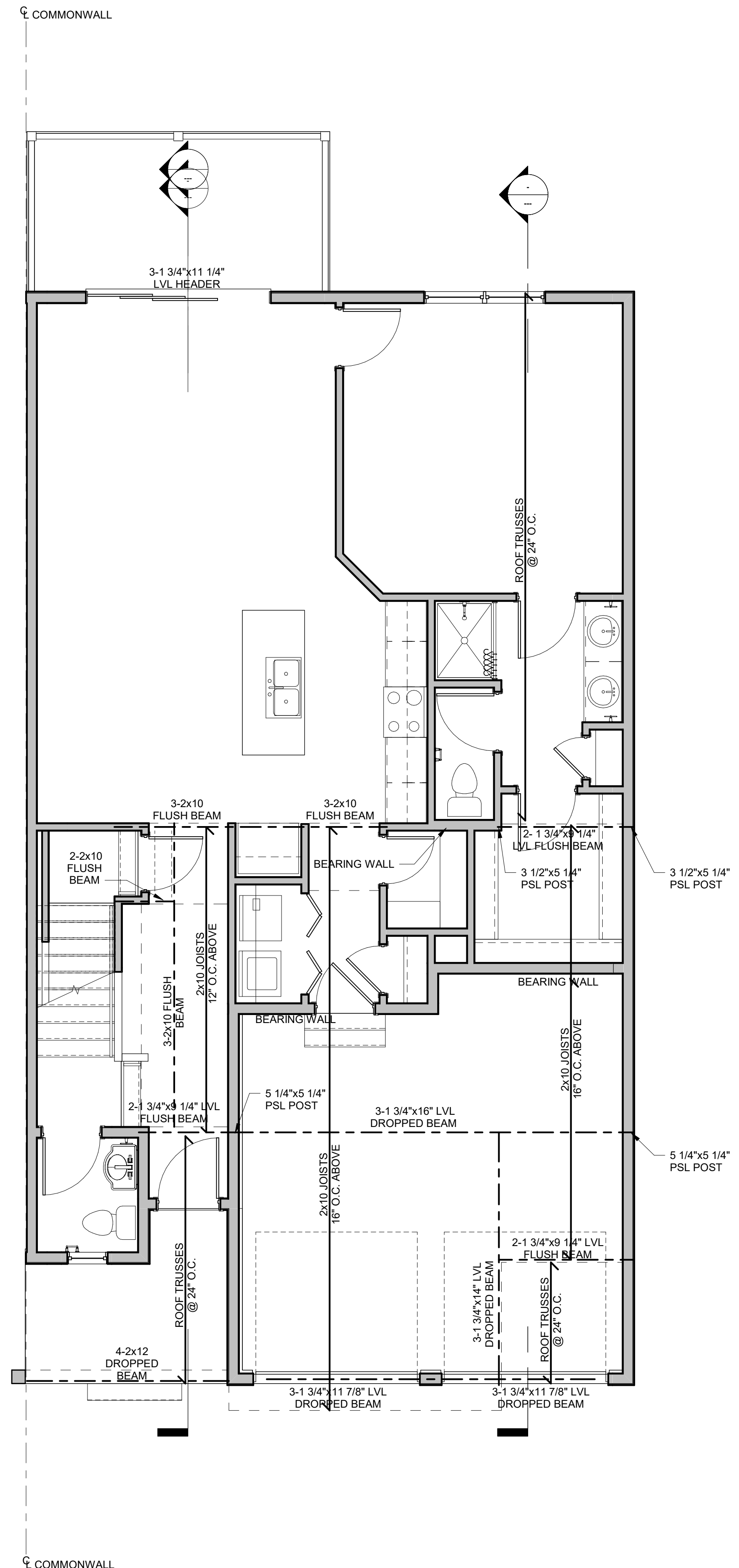


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MAIN FLOOR FRAMING
 PLAN-F1

JUNIPER
F-S0.6F1



Upper Floor Framing Plan

SCALE: 1/4" = 1'-0" (22x34)

Elevation - F1

CONSTRUCTION ASSEMBLIES:

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- B1. **TYPICAL SIDING WALL CONSTRUCTION:** SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
- B2. **TYPICAL STONE VENEER WALL CONSTRUCTION:** ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
- C. **TYPICAL FLOOR CONSTRUCTION:** FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
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 - ** OPENINGS GREATER THAN 4'-0": 2 JACK STUDS & 1 KING STUD
- * PROVIDE MINIMUM 3-2x4 POST AT 2x4 WALLS OR 2-2x6 POST AT 2x6 WALLS AT ENDS OF GIRDER TRUSSES AND BEAMS UNLESS NOTED OTHERWISE.
- * SOLID BLOCK IN FLOOR FRAMING BENEATH ALL POSTS TO FOUNDATION BELOW OR TO POST IN WALL BELOW.
- * ANCHOR ROOF TRUSSES AND RAFTERS WITH SIMPSON H2.5 ANCHORS, TYPICAL.
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- * PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
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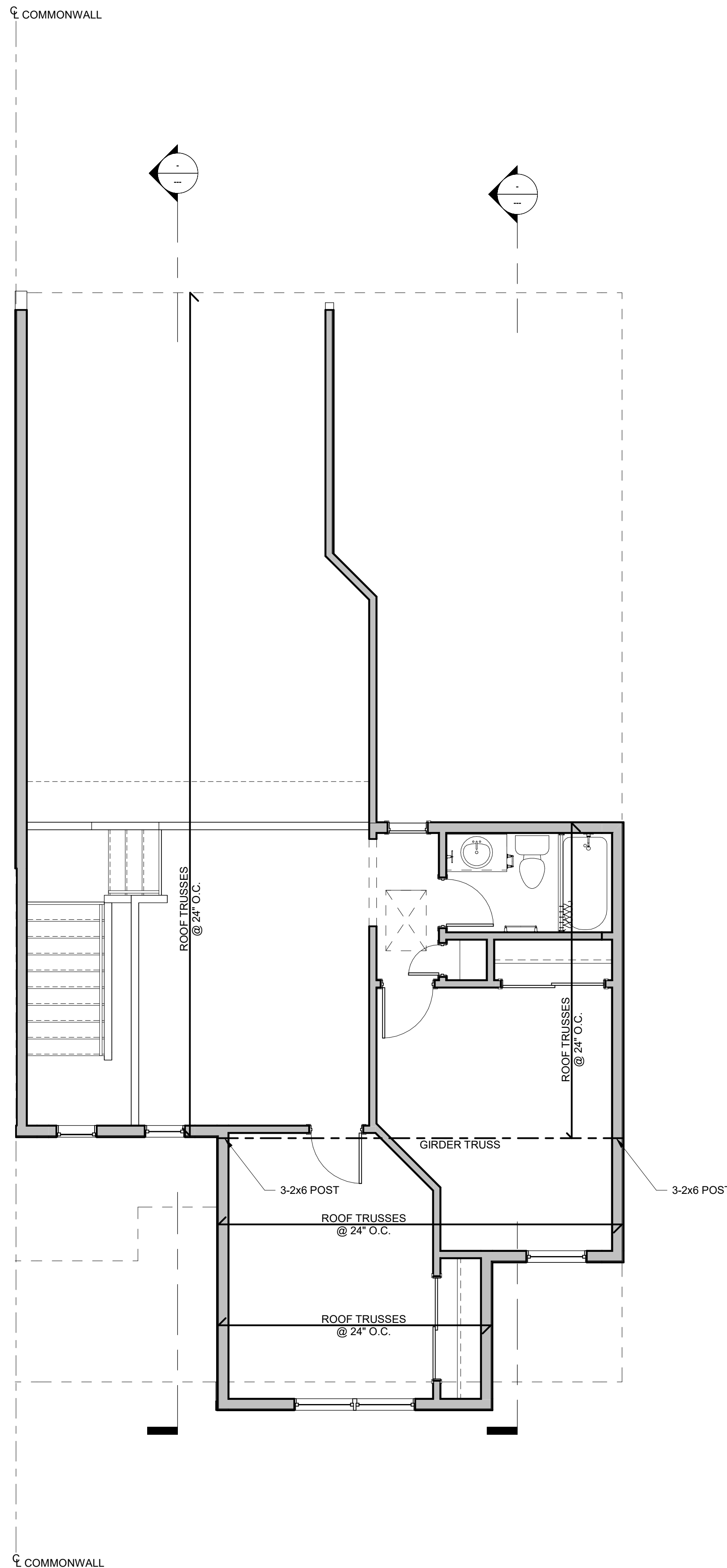


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UPPER FLOOR FRAMING
 PLAN-F1

JUNIPER
F-S1.6F1



Roof Framing Plan

SCALE: 1/4" = 1'-0" (22x34)

Elevation - F1

CONSTRUCTION ASSEMBLIES:

- T** THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS
- A. ROOF CONSTRUCTION:**
COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
CEILING: 5/8" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER WITH INSULATION ABOVE.
- B1. TYPICAL SIDING WALL CONSTRUCTION:**
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL.
SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
- B2. TYPICAL STONE VENEER WALL CONSTRUCTION:**
ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 STUDS, 16" O.C. OR 2x6 STUDS, 24" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD OVER MOISTURE VAPOR RETARDER.
- C. TYPICAL FLOOR CONSTRUCTION:**
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
MAIN FLOOR CEILING: 1/2" GYPSUM BOARD.
- D. CONCRETE SLAB CONSTRUCTION:**
4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL FRAMING PLAN NOTES:

- PROVIDE MINIMUM 3-2x10 HEADER OVER DOORS & WINDOWS UNLESS NOTED OTHERWISE.
- PROVIDE THE FOLLOWING POSTS AT ENDS OF HEADERS (UNLESS NOTED OTHERWISE):
 - ** OPENINGS 4'-0" OR LESS:
 - 1 JACK STUD & 1 KING STUD
 - ** OPENINGS GREATER THAN 4'-0":
 - 2 JACK STUDS & 1 KING STUD
- PROVIDE MINIMUM 3-2x4 POST AT 2x4 WALLS OR 2-2x6 POST AT 2x6 WALLS AT ENDS OF GIRDER TRUSSES AND BEAMS UNLESS NOTED OTHERWISE.
- SOLID BLOCK IN FLOOR FRAMING BENEATH ALL POSTS TO FOUNDATION BELOW OR TO POST IN WALL BELOW.
- ANCHOR ROOF TRUSSES AND RAFTERS WITH SIMPSON H2.5 ANCHORS, TYPICAL.
- SUPPORT OVERFRAMING ON FRAMING MEMBERS OR PROVIDE SOLID BLOCKING.
- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- TRUSS MANUFACTURER SHALL SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.

ISSUE DATE: 01/26/2026

NO.	REVISIONS

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O'Brien Home Farm Duplex Downhill Lot
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JOB NO: MS160442.00 PROJ MGR: JM
 DRAWN: JM CHECKED: JM

ROOF FRAMING PLAN-F1

JUNIPER
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